



DEVELOPMENT REVIEW BOARD
SUPPLEMENTAL SUBMITTAL

(Deadline is Friday at noon unless noted on DRB calendar – late submittals will not be accepted unless approved by the DRB)

PROJECT NO. PR-2018-001579

Application

No.

SI-2021-00304 SITE PLAN, SI-2021-00305 SITE PLAN AMENDMENT
PS-2021-00040 SUMMARY PLAT (PLAT OF EASEMENTS)

TO:

- Planning Department/Chair
- Hydrology
- Transportation Development
- ABCWUA
- Code Enforcement
- Parks & Rec

*(Please attach this sheet with each collated set for each board member)

NOTE: ELECTRONIC VERSION (ie disk, thumbdrive) is Required. Submittal will not be accepted without.

DRB SCHEDULED HEARING DATE: March 31, 2021 HEARING DATE OF DEFERRAL: October 6, 2021

SUBMITTAL

DESCRIPTION: Based on owner/ABQWUA work, the utilities have changed, In addition, much greater detail

was requested for the overall site from Hydrology. Both items resulted in changes to these two items. Other changes include addressing comments & new sheets from the last DRB Hearing and a few very minor shifts to the park layout plans.

Updated Sheets are as follows: Updated Project Narrative, SP-1 Overall, SP-1A, SP-1B, SP-1C, C200-Overall Utility Plan LC-100, LC-101, LP-101, LP-102, LP-105, LP-104, LP-106, Infrastructure List Dated 10/01/2021, C402 Road Sections, C200 Site Paving Plan, Site Summary Plat, Winrock Water Feature Plan, Road E Paving Plan, Road E Grading Plan Roadway Typical Sections, Climate & Geographical Form

CONTACT NAME: Angela M. Williamson, CEO/Partner - Modulus Architects & Land Use Planning, Inc. (Agent)

TELEPHONE: (505) 338-1499 ext. 1000 EMAIL: awilliamson@modulusarchitects.com



Development Review Board

Jolene Wolfley, DRB Chair, Planning Department

Email: jwolfley@cabq.gov

Development Review Board

City of Albuquerque

Plaza Del Sol, 600 Second NW

Albuquerque, New Mexico 87102

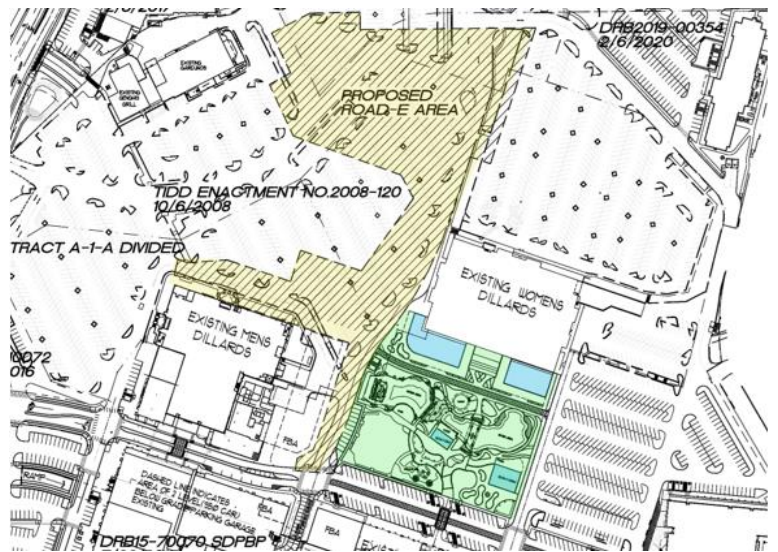
October 1, 2021

RE: PR-2018-001579 – WINROCK TOWN CENTER, SI-2021-00304 SITE PLAN, SI-2021-00305 SITE PLAN AMENDMENT, SUMMARY PLAT (PLAT OF EASEMENTS ONLY)

Members of the DRB Board,

Modulus Architects, Inc., hereafter referred to as "Agent" for the purpose of this request, represents Winrock Partners, hereafter referred to as "Applicant." We, "Agent" are requesting approval for a DRB Site Plan Amendment to the Master Plan, Site Plan approval specific to the Park and Roadway E, Summary Plan for easements only and Infrastructure List approval. The area of the new park and Roadway "E" are shown below for reference.

NEW/UPDATED DRB SHEETS WITH THIS FILING
SP-1 Overall Composite Master Plan
SP-1A - Enlarged Park Site Plan
SP-1B Roadway E
SP-1C Roadway E
SP-1D Roadway E
C-100 - Roadway E Grading Plan
C101 - Park Grading Plan
C201 - Overall Utility Plan
C200 Site Paving Plan
C402 Road Sections
C401 - Road E Enlarged Paving Plan
Infrastructure List Dated 10/01/2021
Winrock Water Feature Plan
LC-100 Landscape Site Plan
LC-101 Planting Plan
LP-101
LP-102 Landscape Plan Calculations
LP-104 Landscape Plan Roadway E
LP-103 Conceptual Landscaping Plan
LP-105 Landscape Plan Roadway E
LP-106 Landscape Calculations Roadway E
LP-501 - Landscape Details
Summary Plat for Easements Only



Transportation Development –

PLAT

1. Any required platting action shall occur prior to the site plan approval; update shared parking/access establishments as necessary. With the new plat, overlay site plan with new site plan adjustments to make sure boundary lines are set appropriately. For the plat, also show surrounding public sidewalks (both existing and proposed) to ensure these are within right-of-way.
Applicant Response: Summary Plat for easements only has been submitted with this package. There are no parcel lines being modified.
2. For the provided roadway cross-section on Pennsylvania, indicate all lane widths and the bike lane width for verification that the right-of-way line for Pennsylvania is set in the right place and that the cross-section is adequate. (This also applies to Indian School Road with any new sidewalk.). (This comment is specifically related to the proposed apartments portion.)
Applicant Response Not part of this application – please refer to approved case SI-2020-01477.
3. For the plat, right-of-way dedication is preferred over sidewalk easements unless trying to meet certain setback requirements. (This comment is specifically related to the proposed apartments portion.) **Applicant Response: Not part of this application – please refer to approved case SI-2020-01477.**

SITE PLAN

4. Provide a layout of Roadway E that is shown on infrastructure list and show a cross-section. Who will maintain Roadway E as this impacts accurate infrastructure requirements? **Applicant Response: Roadway E is same as Roadway B and shall be within a public roadway easement.**
5. Provide proposed traffic control at intersection at the southwest corner and indicate any stop signage and pedestrian signage. Also label all other signage such as handicapped signage and motorcycle signage on the site plan. **Applicant Response: A site specific plan for Roadway E has been submitted with this application.**
6. Show how there is ADA access to the proposed buildings. Show doorways. **Applicant Response: Doorways have been noted on the site plan. All building entries are flush with the exterior sidewalk.**
7. Include parking requirements also based on the proposed buildings. How are overall parking requirements met? **Applicant Response: An overall parking analysis for Winrock Town Center has been provided, sheet PA-1**
8. For surrounding roads, indicate “existing parking” unless planning on restriping the parking lots at these locations. If parking along south side is actually new, label the angle, and indicate adjacent aisle width for adequacy. **Applicant Response: Parking fields have been noted as existing and labeled.**
9. Label all new curb ramps on the site plan and reference details. Delete any keyed notes that are not
10. being used regarding the ramps. On the northwest corner, indicate an adequate turning area at the top of the curb ramp and provide dimensions. **Applicant Response: One ramp style is being proposed at three locations, reference details have been included on sheet SP-1A.**
11. Indicate “No Parking” at the back of van accessible aisles. **Applicant Response: Notations have been added on sheet SP-1A**

12. For the curb ramp details, indicate a 2% maximum slope for the sidewalk and a 6-foot minimum ramp length to meet maximum 1:12 slope requirements.

Applicant Response: There is a note on detail #15 for the flared ramp, sheet A1.1

NMDOT – No Comments

Parks & Rec -

1. Please describe maintenance responsibility. **Applicant Response: Responsibility for landscape and irrigation maintenance on the site lie with the owner.**
2. PRD prefers playground equipment enclosed such as wrought iron fence and gate for safety of children. **Applicant Response: The Playground Area of Winrock Town Center Park will be enclosed with a 4' fence and gate for the safety of the children using the equipment.**
3. PRD has concerns over the "Rock Walk". Please note how a slipping hazard will be prevented. **Applicant Response: The rock stepping stones being used as a land bridge through the lake feature at Winrock Town Center Park will be made of concrete (faux rock) with a non-slip finish to mitigate the potential for the stepping stones being a slipping hazard for users.**
4. If the intent is to use non-potable water, provide signage. **Applicant Response: The Winrock Town Center Park and Streetscapes will be using Reused Water (reclaimed water) for the lake and the landscapes at the project site. Warning signage will be placed throughout the project area. The signage will state: "Winrock Cares About Environments. We are using reclaimed water for water features and landscapes. Don't Drink the Water."**

Water Utility Authority -

1. SI-2021-00304 – SITE PLAN
 - a. Availability statement #210309 has been requested and is currently holding pending a Fire One Plan submittal. Issuance of this Availability Statement is a requirement for approval.
Applicant Response: Fire One Plan Submitted to Fire Marshall Office and submitted to ABQWUA
 - b. Site Plan
 - i. Please add a master utility plan to provide context for the utility plan for this site.
Applicant Response: Master Utility Plan Included with resubmittal.
 - ii. The "existing" water and sewer lines running east/west to the south of the site are not currently mapped in the ABCWUA system. What is the status of this projects construction? See Availability Statement #181010.
Applicant Response: Project closeout awaiting completion of Existing Canopy Renovations as annotated on the approved infrastructure list.
 - iii. Show the water and sewer easements on the utility plan.
Applicant Response: Public and Sanitary Sewer easements shall be shown and dimensioned on upcoming revised utility plans.
 - iv. Please dimension the distance between each type of utility on the utility plan.
Applicant Response: Public and Sanitary Sewer easements shall be shown and dimensioned on upcoming revised utility plans.
- v.

- vi. Please correct the callout for "4" on the northeast side which appears to depict an existing line to be removed.
Applicant Response: Updated.
 - vii. Please coordinate with the ABCWUA Utility Development and Project Manager for the WWTP to ensure the proposed use demands and methods of filling the ponds are feasible. **Applicant Response: Project Team has been coordinating with WWTP team.**
 - viii. Please demonstrate sufficient easements for the proposed reuse lines, and any other public water and public sewer lines not currently within easements. The easement map provided with the plat does not appear to show easements for all the public lines, in particular the reuse running through the park and the initial sewer connection to existing manhole. **Applicant Response: Additional Easement Exhibit shall be provided.**
 - ix. Please be advised that encroachments shall not be constructed over the reuse water line. Please review the alignment of the reuse line. Can this line run due north similar to the water and sewer mains? **Applicant Response: Utilities have been realigned.**
 - x. Provide private easements for the yard lines as necessary and depict on the utility plan. Private water / sewer easement shall not coincide with the public easement for the reuse line. **Applicant Response: Private easements shall be created on paper documents.**
- c. Infrastructure List
- i. Infrastructure Updated as of 10/01/2021 as submitted with this application.

2. SI-2021-00305 – SITE PLAN AMENDMENT

a. Comments are repeated from SI-2021-0304

b. Availability statement #210309 has been requested and is currently holding pending a Fire One Plan submittal. Issuance of this Availability Statement is a requirement for approval.

c. Site Plan

- i. Please add a master utility plan to provide context for the utility plan for this site.
- ii. The "existing" water and sewer lines running east/west to the south of the site are not currently mapped in the ABCWUA system. What is the status of this projects construction? See Availability Statement #181010.
- iii. Show the water and sewer easements on the utility plan.
- iv. Please dimension the distance between each type of utility on the utility plan.
- v. Please correct the callout for "4" on the northeast side which appears to depict an existing line to be removed.
- vi. Where will the new storm drain to be "relocated to the lake" be placed?
- vii. Please coordinate with the ABCWUA Utility Development and Project Manager for the WWTP to ensure the proposed use demands and methods of filling the ponds are feasible.
- viii. Please demonstrate sufficient easements for the proposed reuse lines, and any other public water and public sewer lines not currently within easements. The easement map provided with the plat does not appear to show easements for all the public lines, in particular the reuse running through the park and the initial sewer connection to existing manhole.
- ix. Please be advised that encroachments shall not be constructed over the reuse water line. Please review the alignment of the reuse line. Can this line run due north similar to the water and sewer mains?
- x. Please be advised that encroachments shall not be constructed over the reuse water line. Please review the alignment of the reuse line. Can this line run due north similar to the water and sewer mains?

- xi. The utility plan that is part of the approved Site Plan shall be the basis for work orders or mini work orders.
 - xii. The fire one plan may require revisions to the utility plan. Please submit for review as soon as possible.
 - xiii. Provide private easements for the yard lines as necessary and depict on the utility plan. Private water / sewer easement shall not coincide with the public easement for the reuse line.
- d. Infrastructure List
- i. Please label the Roads listed in the water/sewer callouts on the utility plan.
 - ii. It appears the infrastructure list includes the public water, public sewer, and public reuse lines adjacent to this project.

Hydrology Development – Hydrology will need an approved Grading and Drainage Plan prior to signature. One has been submitted and comments have been provided.

Applicant Response: Project Team is tracking to resubmit to Hydrology on May 3, 2021.

Transportation and Drainage – No Comments

Code Enforcement – No Comments

Planning -

- The park is shown on the approved Master Plan for Winrock.
- Planning defers to parks regarding the infrastructure and the systems built to city specs.
- Please confirm the maintenance responsibility for the park.
- See Code Enforcement comments for park requirements.
- Please provide details for the patio and gazebo.
- Show any signage that will be associated with the park.
- A platting action is needed if you plan to create a separate parcel that can be conveyed to another entity.
- Elevations were provided as part this submittal. Are these illustrative or part the items that the DRB will be reviewing?

Applicant Response: A virtual meeting was held on April 20, 2021 with members of the design team and Ms. Maggie Gould, DRB Planner. All comments were discussed and clarifications have been provided in our re-submittal elevations sheets.

The responses and updated plan submittals should adequately address the comments provided. We are respectfully requesting approval of the Amended Overall Master Plan, the Site Specific Plan for the Park, Roadway E and the Platting Action.

Sincerely,

Angela M. Williamson

**Angela M. Williamson, CEO/Managing Partner
(Agent) Goodman Realty Group**

Modulus Architects & Land Use Planning, Inc.

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Albuquerque Site & Building Design Considerations

This form should be submitted with all commercial and multifamily site plans, except if the development is industrial or the multifamily is less than 25 units. ***The project architect and landscape architect must complete the evaluation and sign the end of this form (fillable in Adobe Acrobat Reader).***

The City of Albuquerque design philosophy promotes building performance: buildings that are sustainable and that promote the health and well-being of its citizens. This design philosophy will result in architecture that is unique to Albuquerque and fosters a sense of place and identity.

The most important aspect of a building is the building's ability to function well in response to its surroundings and the unique environmental constraints and opportunities of its specific location. They include bio-climate (winter and summer), solar access and impact, and views of Albuquerque's prominent geographic features. Albuquerque has compelling environmental forces--the daily and seasonal position of the sun, and a very unique force, the dramatic views to the Sandia mountains and other physical features. These are not subjective forces but rather tangible and timeless forces. They are physical properties that can be measured and documented. When architects and landscape architects acknowledge and respond to these forces, the resulting design is unique to Albuquerque in its aesthetic expression and its function.

Design Considerations for Compliance with IDO Section 5-2 (D)

In Albuquerque, building and site design must consider summer and winter climate zones in combination due to our high desert location. Albuquerque also has dramatic views of the Sandia mountains and other physical features that can be captured in windows, patios, and balconies. Identify by checking the box that you have achieved, achieved in part, or evaluated only the following design principles in your site and building layout and building design.

Section A.

General Site Arrangement and Building Orientation:

1. The building design should account for sun and shadow in a sun and shade analysis. The design should allow for heat loss during the summer months and heat gain during the winter months. Specific submittal requirements for the sun and shade analysis are in *Section B*.

Achieved Achieved in Part Evaluated Only

2. The building shapes should account for strong solar radiation effects on the east and west sides of the building and may encourage consideration of a slender elongation. Building wings extending on the east-west axis are preferable.

Achieved Achieved in Part Evaluated Only

3. Buildings oriented slightly east of south are preferable to secure balanced heat distribution.

Achieved Achieved in Part Evaluated Only

4. Design should allow for winter sun penetration and may inform depths of interiors so as not be excessive.

Achieved Achieved in Part Evaluated Only

5. Design should allow for natural ventilation as much as possible.

Achieved Achieved in Part Evaluated Only

Building Entries and Windows:

6. Building windows to the south and southeastern sides are preferable. South facing windows are easy to shade from the summer sun with simple horizontal overhangs, projections, or plantings.

Achieved Achieved in Part Evaluated Only

7. North facing entries should be carefully considered because they receive no direct sunlight during much of the winter and increase the need for snow and ice removal.

Achieved Achieved in Part Evaluated Only

8. North facing windows are encouraged as they require little to no shading.

Achieved Achieved in Part Evaluated Only

9. Any west facing building entries and windows should mitigate solar effects.

Achieved Achieved in Part Evaluated Only

Outdoor Elements (Integration):

10. Site plan design should spatially connect outdoor and indoor areas.

Achieved Achieved in Part Evaluated Only

11. Buildings arranged around landscape vegetated areas are preferred to use evaporative cooling effects and heat radiation losses at night.

Achieved Achieved in Part Evaluated Only

12. Buildings should be shaded by trees on all sun-exposed sides, especially the east and west exposures.

Achieved Achieved in Part Evaluated Only

13. Trees placement should be in combinations of two-thirds deciduous to one-third evergreen. Trees selection should have three or more tree types to avoid loss of species due to disease.

Achieved Achieved in Part Evaluated Only

14. Preservation or restoration of vegetation that is indigenous to Albuquerque is preferred.

Achieved Achieved in Part Evaluated Only

15. Glare from direct sunlight through windows can be effectively diffused by tree canopies. Deciduous trees planted in small or large groups are preferred.

Achieved Achieved in Part Evaluated Only

16. Outdoor residential living areas should be designed to take advantage of sun in winter months and shading in summer months. Patios and balconies should have a thoughtful solar orientation and a close relationship to nature.

Achieved Achieved in Part Evaluated Only

17. Paving should be used discriminately and, where used, efforts should be made to shade the paving.

Achieved Achieved in Part Evaluated Only

Views:

18. Where the site has view potential, capture views of prominent visual forms--the Sandia mountains and foothills, the Bosque Rio Grande, Volcanos and escarpment--in windows, balconies, and patios. (Please note on the site layout and/or elevations where views are captured.)

Achieved Achieved in Part Evaluated Only

By checking the boxes of the Design Considerations and signing, I verify that the items have been thoroughly evaluated in the design of Project _____ and Application No _____.



Signature of Project Architect/License No.

Signature of Project Landscape Architect/License No.

Section B.

Sun and Shade Analysis requirements in compliance with 5-2(D)(1):

A solar shading analysis shall be submitted with all site plan submittals, except for industrial development and multi-family residential development containing less than 25 units.

The desired outcome is that *summer sun* be shaded at least 50% or more on transparent windows and doors at three peak times on each facade.

The desired outcome is that 75% of *winter sun* should reach transparent windows and doors at noon on each facade.

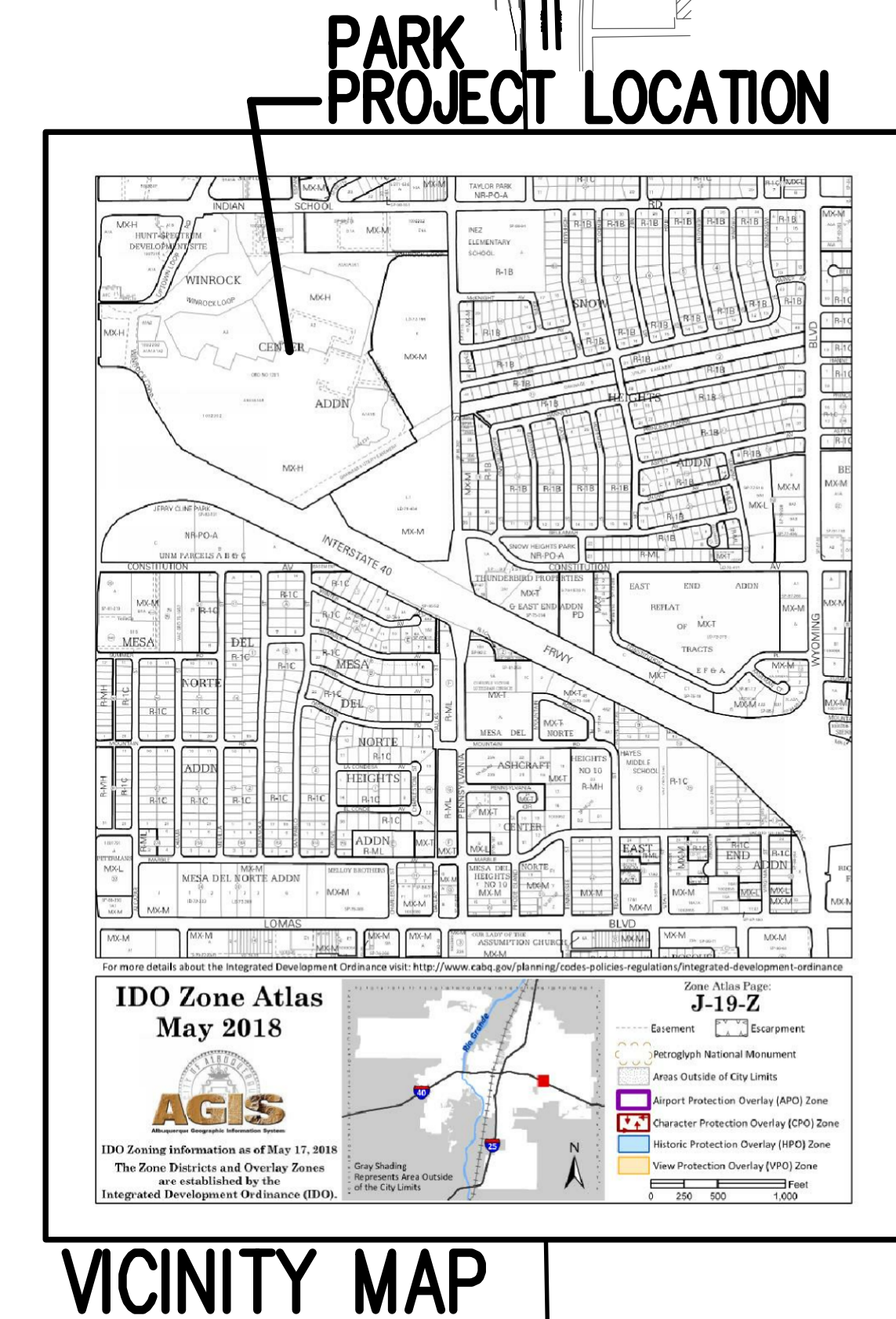
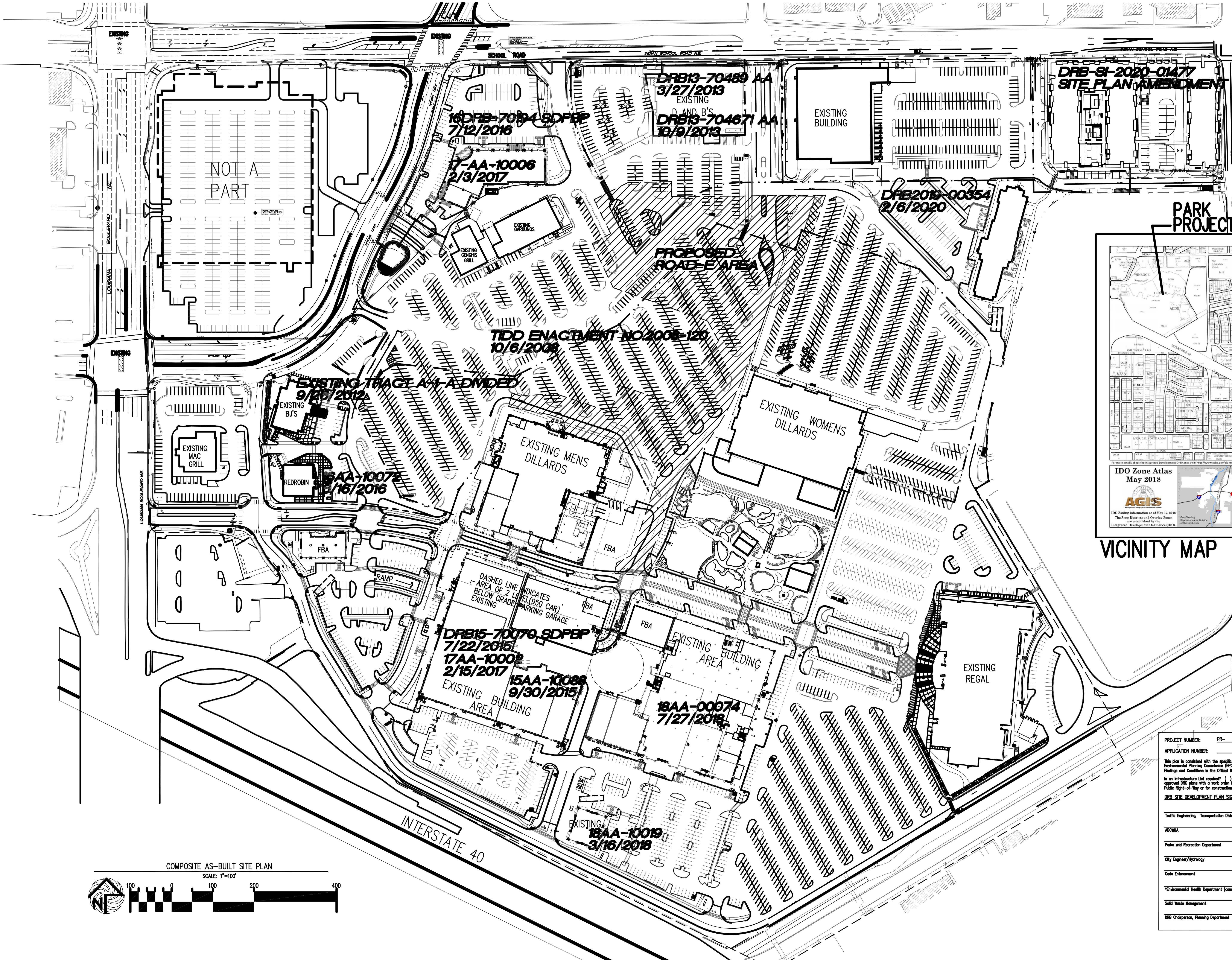
The submittal shall include sun and shade analysis on elevations of all primary facades with a minimum of four elevations. Screen shots from a program like SketchUp are acceptable.

Summer Sun Analysis

1. Show the effects of summer sun on windows on the following date and times:
 - a. May 21st analysis:
 - 9:00 AM
 - Noon
 - 4:00 PM
 - b. The shading study for May should show the percentage of shading of transparent windows and doors at 9 am and 4 pm. **The desired outcome is that 50% or more of the transparent windows and doors be shaded at 9 am and 4 pm on each façade.**
 - c. The shading study for May should show the percentage of shading of transparent windows and doors at noon. **The desired outcome is for 90% or more of transparent windows and doors be shaded at noon on each façade.**
 - d. Plantings may be modeled and included in the shading analysis. Use the mature size of trees and large shrubs according to the Albuquerque Plant List.
 - e. If no sun is influencing a façade at any of the above times, the graphic should simple state “no solar effect.”

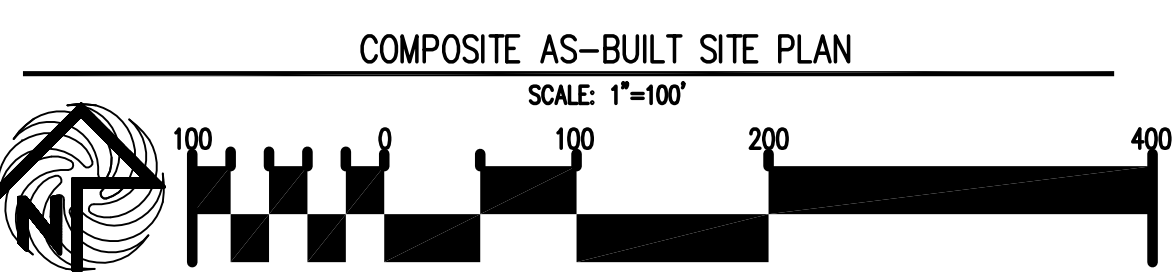
Winter Sun Analysis

2. Show the effects of winter sun on windows on the following date and time:
 - a. November 21st analysis:
 - Noon
 - b. The shading study for November will show the amount of sun reaching the transparent windows or doors and not shaded. **The desired outcome is for 75% of available sun to reach the windows or doors on each facade.**



PARK PROJECT LOCATION

PROJECT NUMBER:	PR-
APPLICATION NUMBER:	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____, and the findings and conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Traffic Engineering, Transportation Division	Date
ARBQMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairman, Planning Department	Date



REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498

STATE OF NEW MEXICO
 REGISTERED ARCHITECT
 STEPHEN A. DUNBAR
 No. 4218

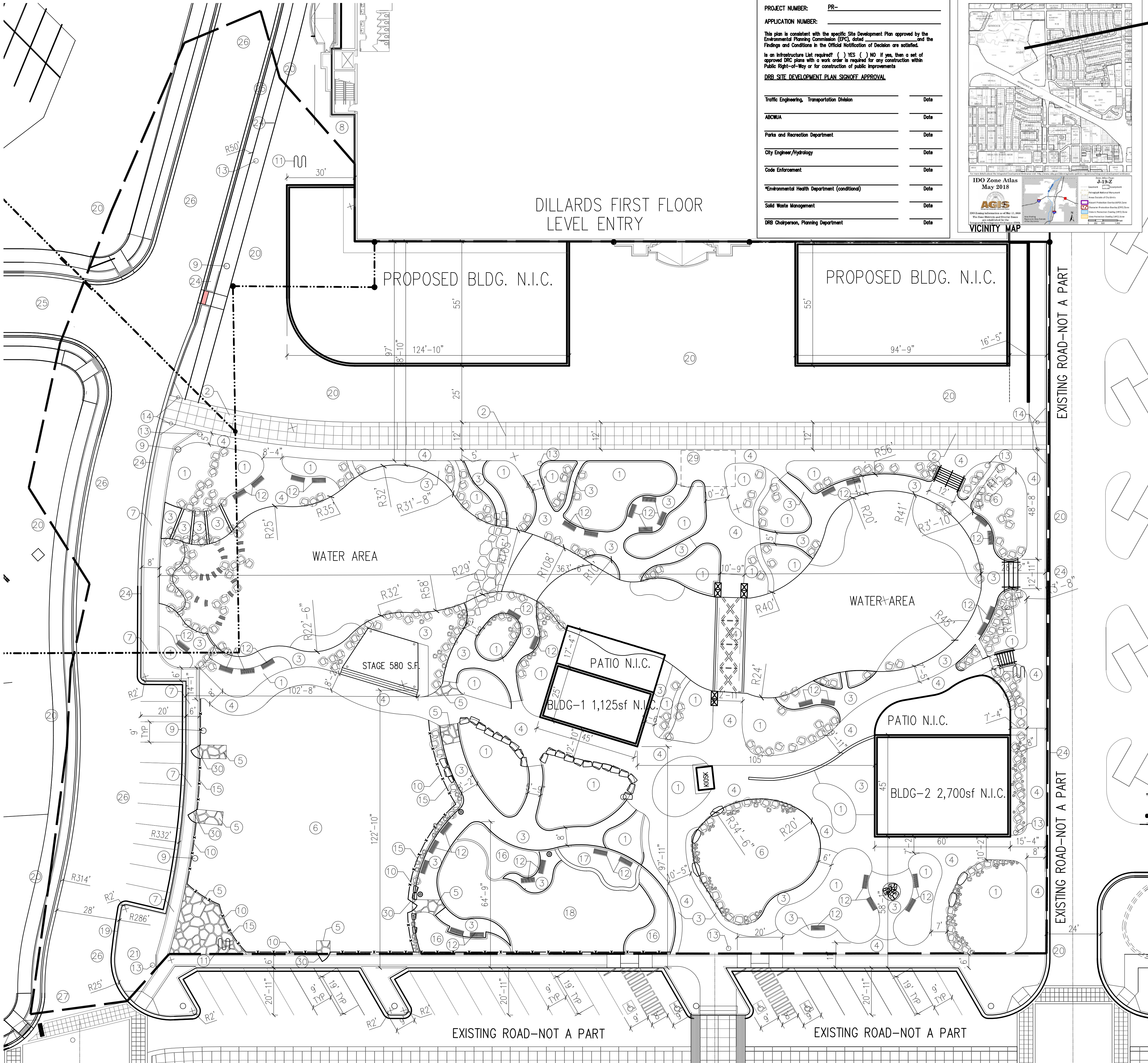
PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR, AIA
 JOB NO.: WIN-PARK

DRAWN BY: S

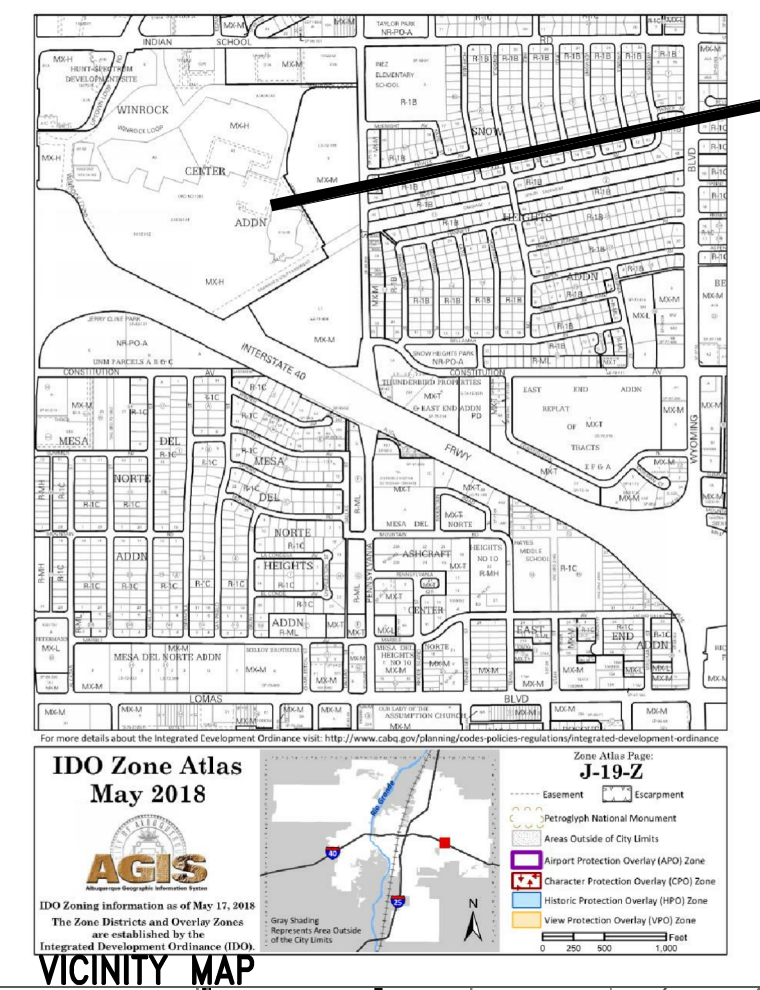
SHEET TITLE: COMPOSITE-AS-BUILT SITE PLAN

DATE: 3/5/2021
 SCALE: RE: SCALE
 SHEET: SP-1 of 1



PROJECT NUMBER: PR-
 APPLICATION NUMBER:
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () YES () NO if yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements
DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ABCMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date



PROJECT LOCATION

KEYED NOTE:

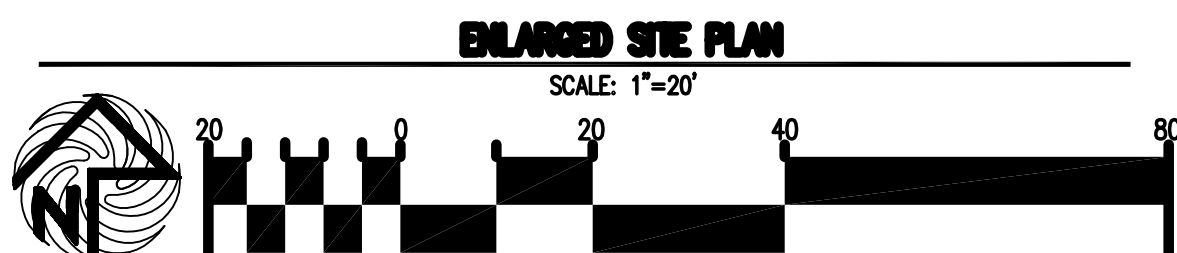
- ① 4" DEEP ANGULAR LANDSCAPE GRAVEL/MULCH AREA G.C. TO PROVIDE/COORD. REQ'D SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR DETAILS
- ② INTEGRALLY COLORED/TEXTURED CONCRETE TROLLEY PATHWAY
- ③ ANGULAR CRUSHER FINE PEDESTRIAN PATHWAY. RE: LANDSCAPE PLAN
- ④ 4" EXPOSED AGGREGATE CONCRETE SURFACE AREA. RE: LANDSCAPE PLAN
- ⑤ FLAGSTONE PAVER SURFACE AREA. RE: LANDSCAPE PLAN
- ⑥ INDICATES LAWN AREA RE: LANDSCAPE PLAN FOR INFO.
- ⑦ INTEGRALLY COLORED CONC. SIDEWALK
- ⑧ INDICATES EXISTING SIDEWALK AREA TO REMAIN
- ⑨ LIGHT POLE LOCATION RE: DETAIL 3/A1.1
- ⑩ ORNAMENTAL ALUM. FENCE
- ⑪ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DETAIL 11/A1.2
TYPICAL BIKE RACK GRAPHIC SYMBOL=
- ⑫ BENCH LOCATION
TYPICAL BENCH GRAPHIC SYMBOL=
- ⑬ TRASH RECEPTACLE
- ⑭ 6" STEEL BOLLARD WITH CUSTOM CAP
- ⑮ 12" WIDE CONCRETE MOW STRIP AT ORNAMENTAL FENCE.
- ⑯ SHREDDED NATIVE BARK MULCH. RE: LANDSCAPE PLAN.
- ⑰ POURED IN PLACE RUBBER SURFACE. RE: LANDSCAPE PLAN.
- ⑱ ENGINEERED WOOD FIBER, 12" COMPACTED DEPTH. RE: LANDSCAPE PLAN.
- ⑲ INDICATES 1" CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A1.1 FOR KNOTCH DETAIL
- ⑳ NOT A PART-FUTURE REDEVELOPMENT PHASE
- ㉑ 6" HIGH CONC. ISLAND RE: DET 4/A1.1
RE: SITE GRADING PLAN FOR INFO
- ㉒ WHEELSTOP RE: DET 5/A1.2
- ㉓ EXTERIOR DECORATIVE CONCRETE ENTRY AREA
MAIN BUILDING ENTRY PATHWAY
- ㉔ INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE
PAINT CURB RED IN COLOR
- ㉕ NEW ASPHALT DRIVE TIE INTO EXISTING RE: CIVIL FOR GRADES/PROFILE
- ㉖ NEW ASPHALT DRIVE RE: CIVIL FOR GRADES/PROFILE
- ㉗ TIE NEW SIDEWALK INTO FACE OF EXISTING
SIDEWALK LOCATION
- ㉘ H.C. PARKING STALL RE: DET 5/A1.2
- ㉙ UNDERGROUND 24"x16"x8' EQUIPMENT PUMP VAULT.
- ㉚ GATE

NOTE: REFER TO PLAT FOR ALL EXISTING EASEMENTS WITHIN PROJECT SCOPE AREA.

SITE DATA TABLE	PROJECT AREA PHASE LIMITS (LOT-A-1-A-1-A)
LEGAL DESCRIPTION	PARCEL 1-A-1 WINROCK CENTER ADDITION
TOTAL ACREAGE:	2.84 ACRES PROPOSED
EXISTING ZONING:	MX-H
PROPOSED USE:	PARK
PROPOSED BUILDING SIZE:	RE: SITE PLAN
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	11 PARKS
TOTAL H.C. PARKING PROVIDED WITHIN PROJECT AREA:	4 PARKS (EXISTING)

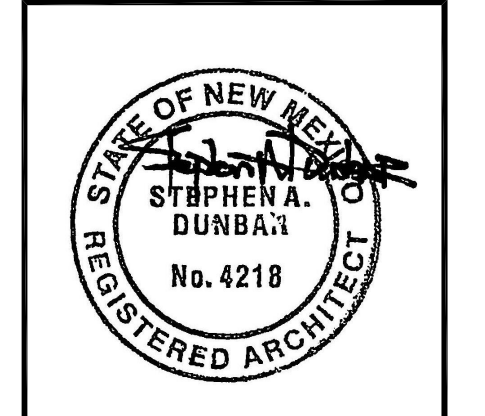
LINETYPE LEGEND

PROJECT SCOPE AREA	
EXISTING PROPERTY LINE	
EXISTING CURB LINE	
PROPOSED CURB LINE	



REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 1000 AVENUE N.W. SUITE 100
 MOBILE, ALABAMA 36688
 PHONE: (205) 338-1499 FAX: (205) 338-1498



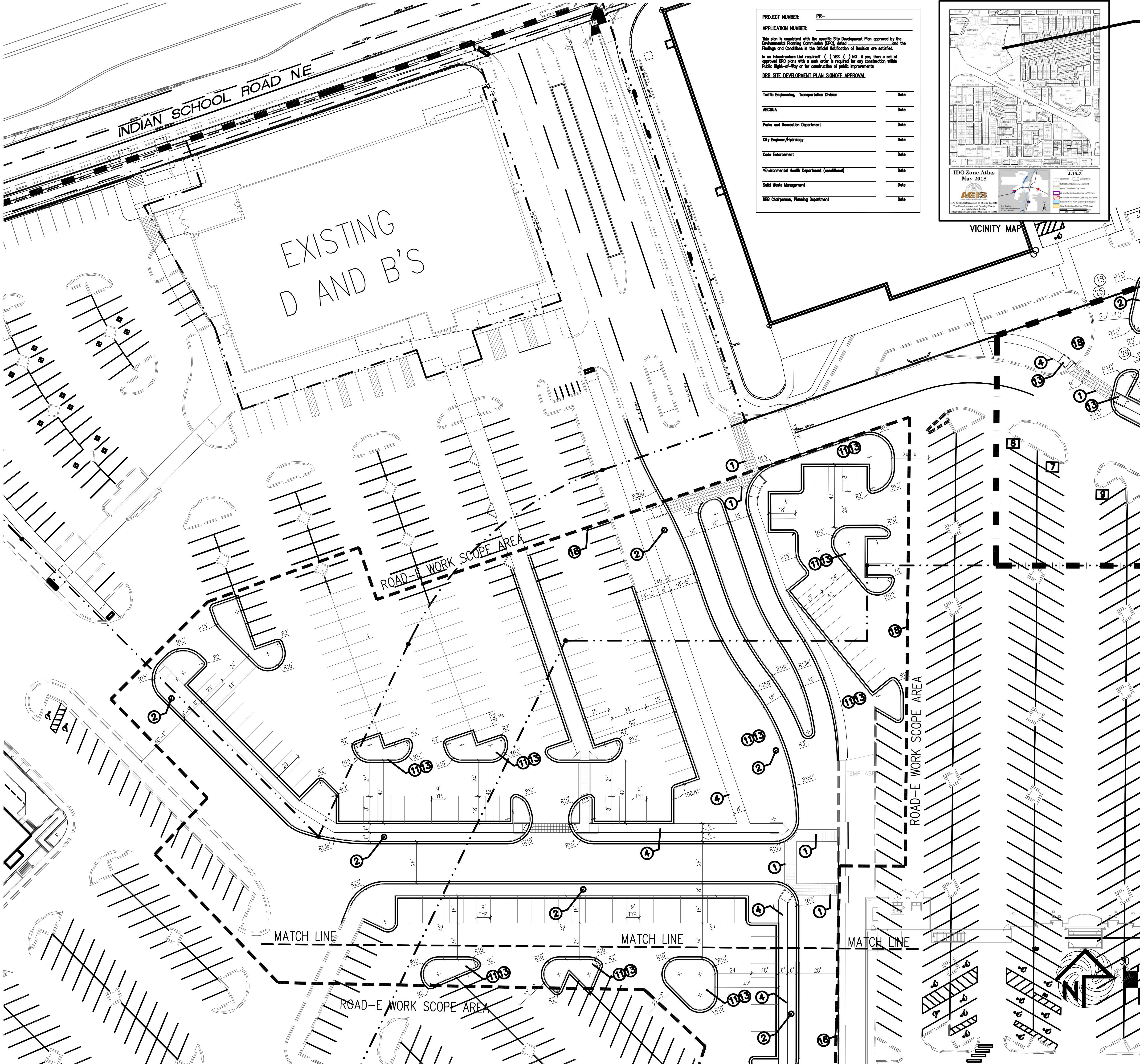
PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD. N.E.
 ALBUQUERQUE, NEW MEXICO

PROJECT MANAGER: STEPHEN DUNBAR, AIA
 JOB NO.: WIN-PARK

DRAWN BY: S

SHEET TITLE: WINROCK PARK SITE PLAN

DATE: 9/29/2021	sheet: SP-1A
SCALE: RE: SCALE	of.



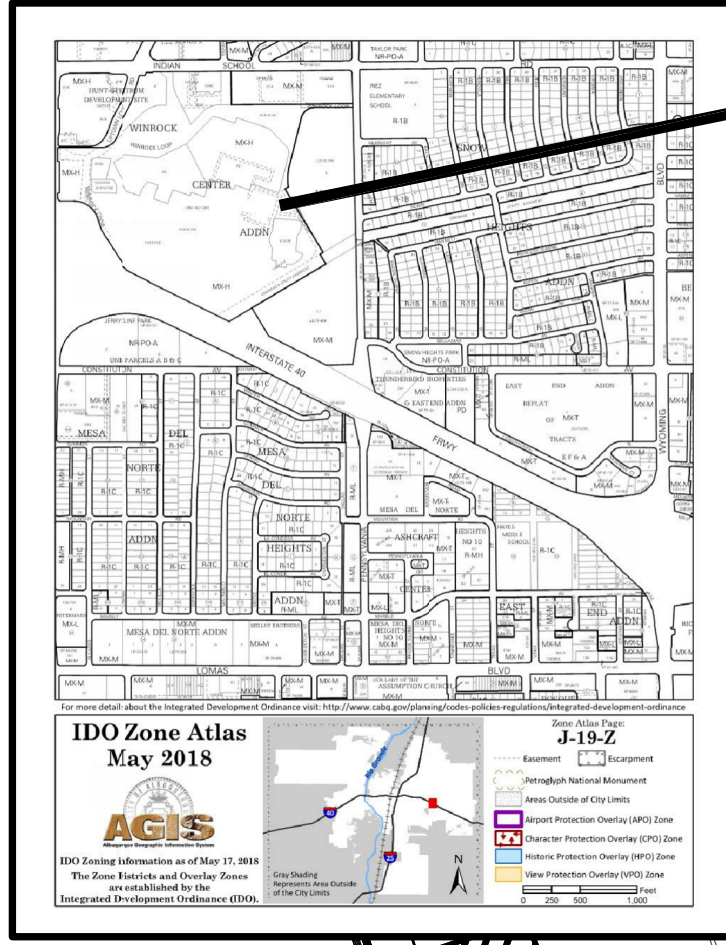
PROJECT NUMBER: PR-

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated [] and the Findings and Conditions in the Official Notification of Decision are attached. Is an Infrastructure List required? () YES () NO. If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SHEET APPROVAL

Traffic Engineering, Transportation Division	Date
ABQWA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRG Checkperson, Planning Department	Date



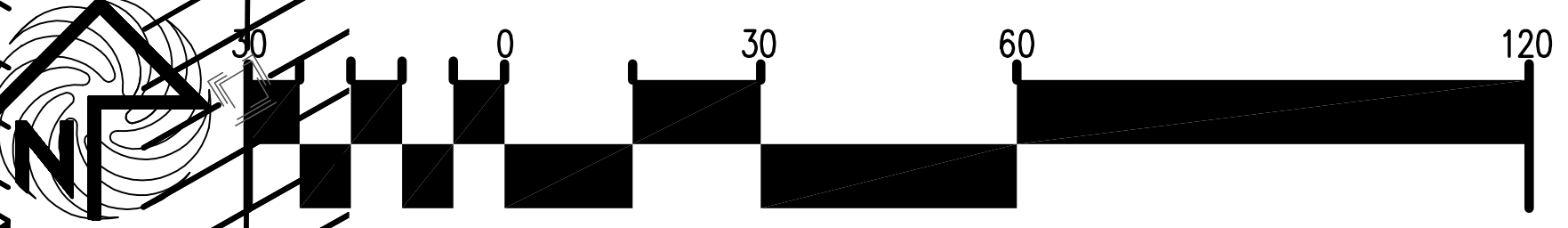
PROJECT LOCATION

- KEYED NOTE:**
- ① INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
 - ② 25' LIGHT POLE LOCATION
 - ③ 14 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL=
 - ④ INTEGRALLY COLORED CONC. SIDEWALK
 - ⑤ HANDICAP RAMP PER COA STANDARD
AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
 - ⑥ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
TYPICAL BIKE RACK GRAPHIC SYMBOL=
 - ⑦ NOT USED
 - ⑧ TRASH RECEPTACLE PROVIDED AND INSTALLED BY OWNER
 - ⑨ NOT USED
 - ⑩ NOT A PART-FUTURE REDEVELOPMENT PHASE
 - ⑪ 6" HIGH CONC. ISLAND
RE: SITE GRADING PLAN FOR INFO
 - ⑫ H.C. PARKING STALL
 - ⑬ LANDSCAPE AREA
RE: LANDSCAPE PLAN FOR INFO
 - ⑭ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
NOTE: EACH ON-SITE STALL MEASURES 4' X 6' IN SIZE
RE: SITE PLAN FOR LOCATIONS.
 - ⑮ PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER
 - ⑯ INDICATES PAINTED CROSS WALK STRIPE
 - ⑰ EXISTING HYDRANT LOCATION TO REMAIN
 - ⑱ DASHED LINE INDICATES PROJECT SCOPE AREA LIMITS.
 - Ⓜ NOT USED
 - Ⓜ INDICATES VEHICLE STOP SIGN LOCATION

LINETYPE LEGEND

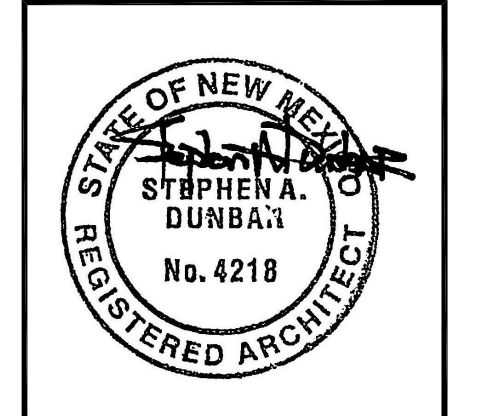
PROJECT SCOPE AREA	
EXISTING PROPERTY LINE	
EXISTING CURB LINE	
PROPOSED CURB LINE	

ENLARGED SITE PLAN
SCALE: 1"=30'

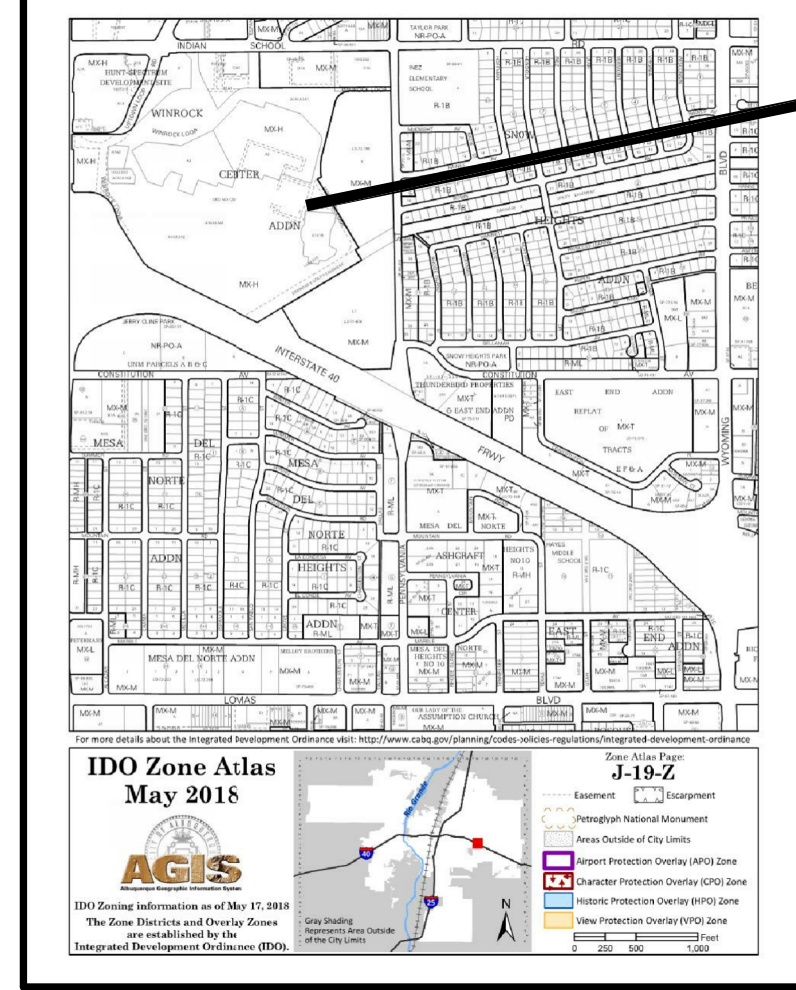
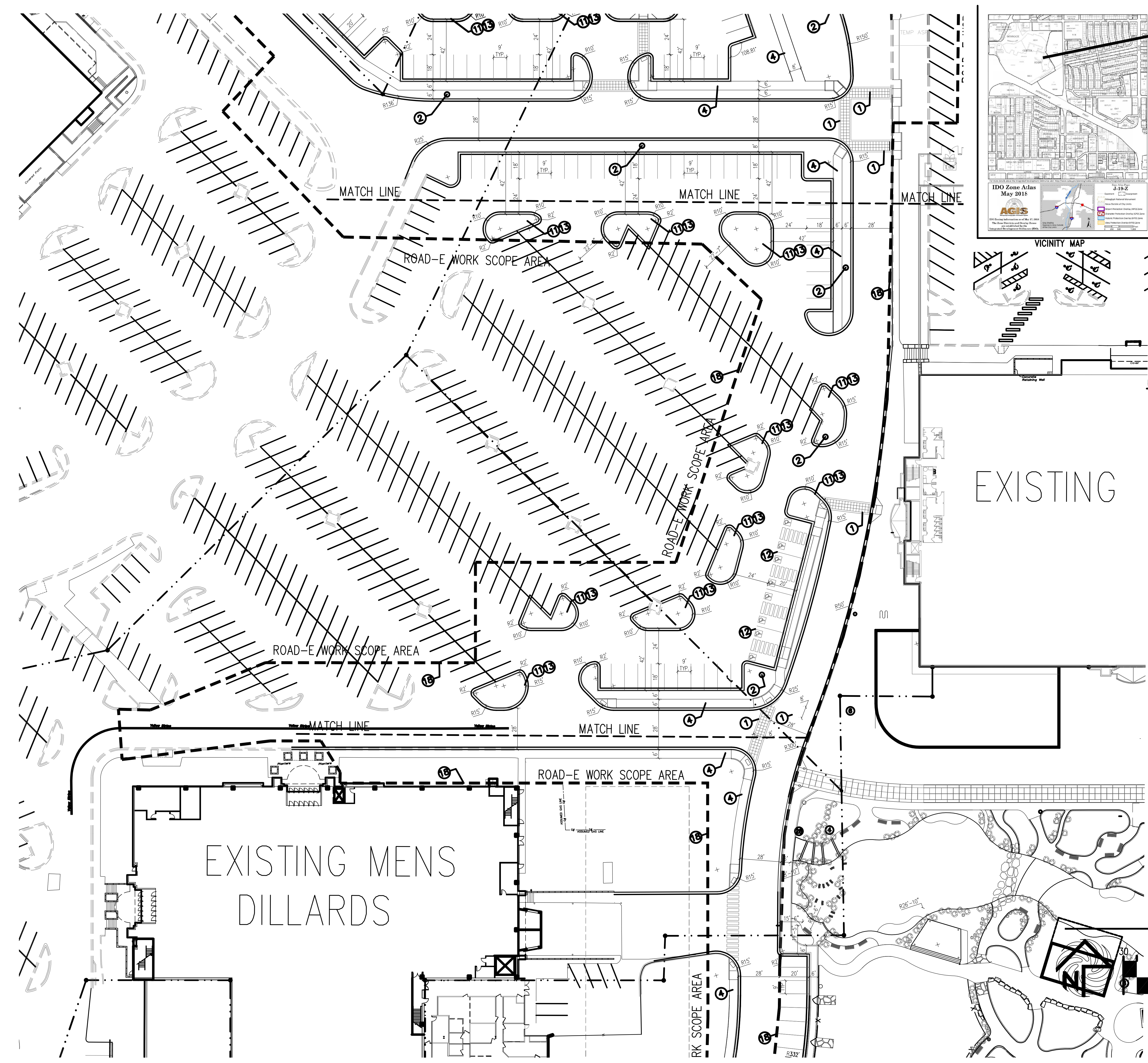


REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER 2100 LOUISIANA BLVD. N.E. ALBUQUERQUE, NEW MEXICO	PROJECT MANAGER: STEPHEN DUNBAR, AIA JOB NO.: WIN-PARK	DRAWN BY: S
DATE: 10/1/2021	SHEET: SP-1B	
SCALE: RE: SCALE		



PROJECT LOCATION

PROJECT NUMBER:	PR-
APPLICATION NUMBER:	
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), and the Findings and Conditions in the Official Notification of Decision are satisfied.	
Is an Infrastructure List required? () YES () NO If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.	
DRS SITE DEVELOPMENT PLAN SIGNOFF APPROVAL	
Traffic Engineering, Transportation Division	Date
ARCWA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRS Chairperson, Planning Department	Date

KEYED NOTE:

- ① INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- ② 25' LIGHT POLE LOCATION
- ③ 14 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL=
- ④ INTEGRALLY COLORED CONC. SIDEWALK
- ⑤ HANDICAP RAMP PER COA STANDARD AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- ⑥ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
TYPICAL BIKE RACK GRAPHIC SYMBOL=
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- ⑧ TRASH RECEPTACLE PROVIDED AND INSTALLED BY OWNER
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RE: SITE GRADING PLAN FOR INFO
- ⑫ H.C. PARKING STALL
- ⑬ LANDSCAPE AREA
RE: LANDSCAPE PLAN FOR INFO
- ⑭ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE
RE: SITE PLAN FOR LOCATIONS.
- ⑮ PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER
- ⑯ INDICATES PAINTED CROSS WALK STRIPE
- ⑰ EXISTING HYDRANT LOCATION TO REMAIN
- ⑱ DASHED LINE INDICATES PROJECT SCOPE AREA LIMITS.
- Ⓢ NOT USED
- Ⓣ INDICATES VEHICLE STOPSIGN LOCATION

LINETYPE LEGEND

- PROJECT SCOPE AREA
- EXISTING PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE

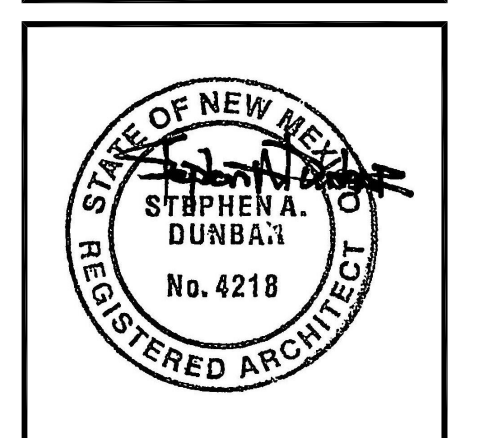
ENLARGED SITE PLAN

SCALE: 1"=30'

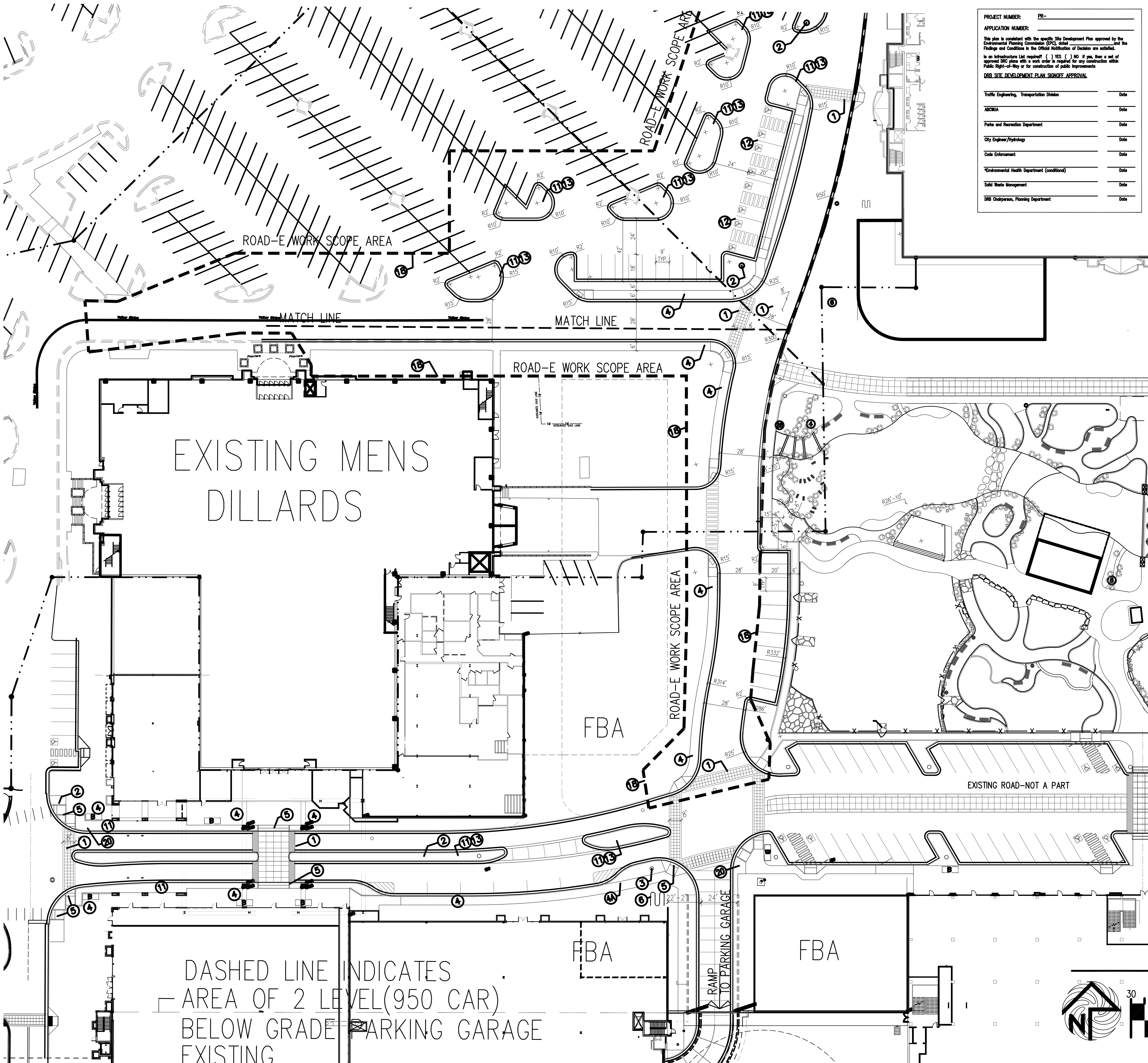


REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD, N.E. ALBUQUERQUE, NEW MEXICO	JOB NO. WIN-PARK	DRAWN BY: S
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE PROPOSED ROAD-E	
DATE: 10/1/2021	SHEET: SP-1C	
SCALE: RE: SCALE		



PROJECT NUMBER: PR-

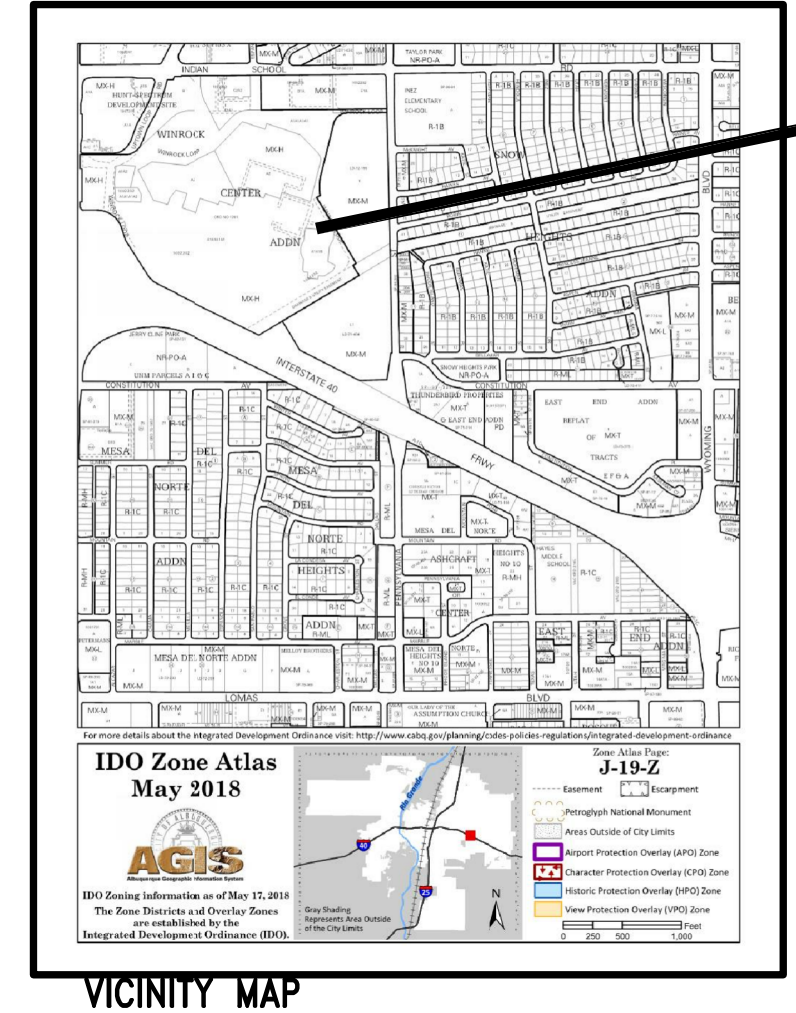
APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), and the Findings and Conditions in the Official Modification of Ordinance are satisfied.

Is an Infrastructure List required? () YES () NO. If yes, then a set of approved IRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DOB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
ABQMA	Date
Parks and Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DOB Chairperson, Planning Department	Date



PROJECT LOCATION

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

KEYED NOTE:

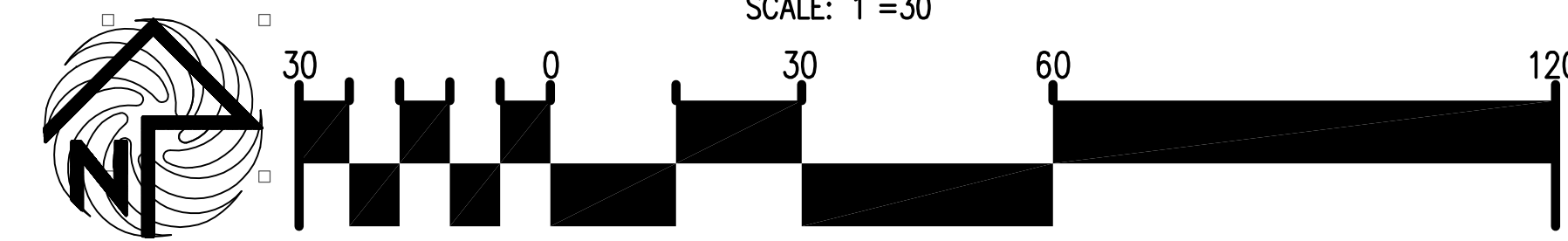
- 1 INTEGRALLY COLORED, AND TEXTURED CONC. PEDESTRIAN CROSSWALK
- 2 25' LIGHT POLE LOCATION
- 3 14 FOOT HIGH PEDESTRIAN SCALE LIGHT LOCATION
TYPICAL PEDESTRIAN LIGHT GRAPHIC SYMBOL=
- 4 INTEGRALLY COLORED CONC. SIDEWALK
- 5 HANDICAP RAMP PER COA STANDARD AT 1:12 MAX SLOPE WITH TRUNCATED DOMES PER COA STANDARDS
- 6 INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY)
TYPICAL BIKE RACK GRAPHIC SYMBOL=
- 7 NOT USED
- 8 TRASH RECEPTACLE PROVIDED AND INSTALLED BY OWNER
- 9 NOT USED
- 10 NOT A PART-FUTURE REDEVELOPMENT PHASE
- 11 6" HIGH CONC. ISLAND
RE: SITE GRADING PLAN FOR INFO
- 12 H.C. PARKING STALL
- 13 LANDSCAPE AREA
RE: LANDSCAPE PLAN FOR INFO
- 14 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE
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- 15 PERIMETER CONCRETE STREET SIDEWALK WITH DECORATIVE BORDER
- 16 INDICATES PAINTED CROSS WALK STRIPE
- 17 EXISTING HYDRANT LOCATION TO REMAIN
- 18 DASHED LINE INDICATES PROJECT SCOPE AREA LIMITS.
- 9 NOT USED
- 20 INDICATES VEHICLE STOP SIGN LOCATION

LINETYPE LEGEND

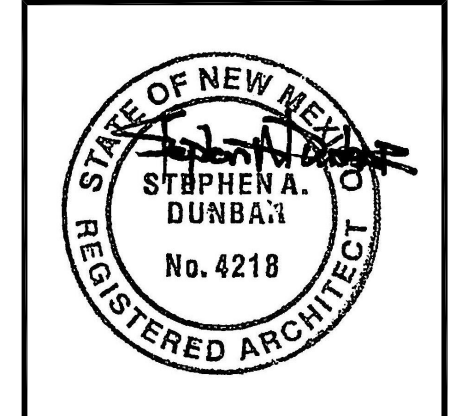
- PROJECT SCOPE AREA
- EXISTING PROPERTY LINE
- EXISTING CURB LINE
- PROPOSED CURB LINE

DASHED LINE INDICATES AREA OF 2 LEVEL (950 CAR) BELOW GRADE PARKING GARAGE EXISTING

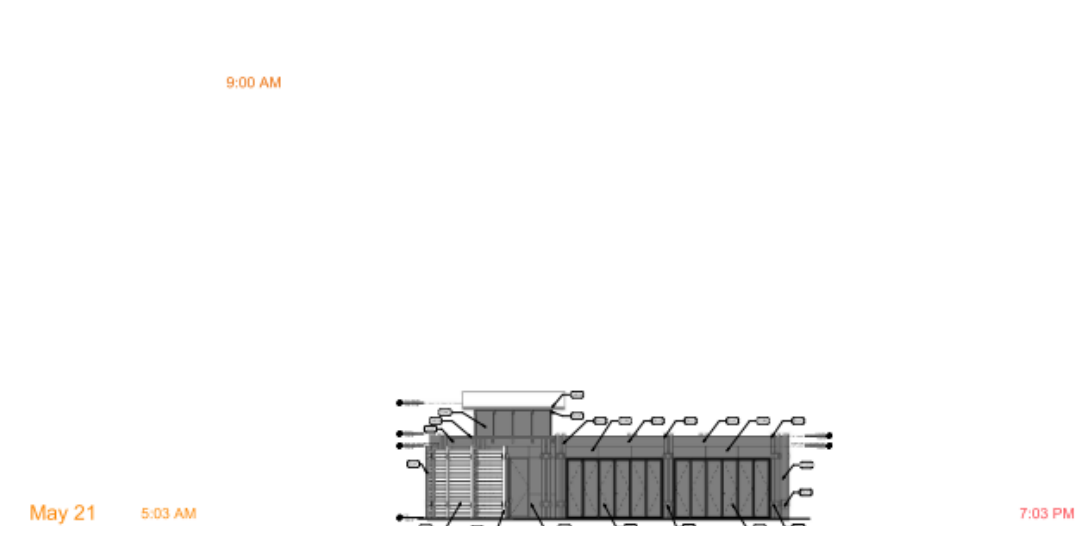
ENLARGED SITE PLAN
SCALE: 1"=30'



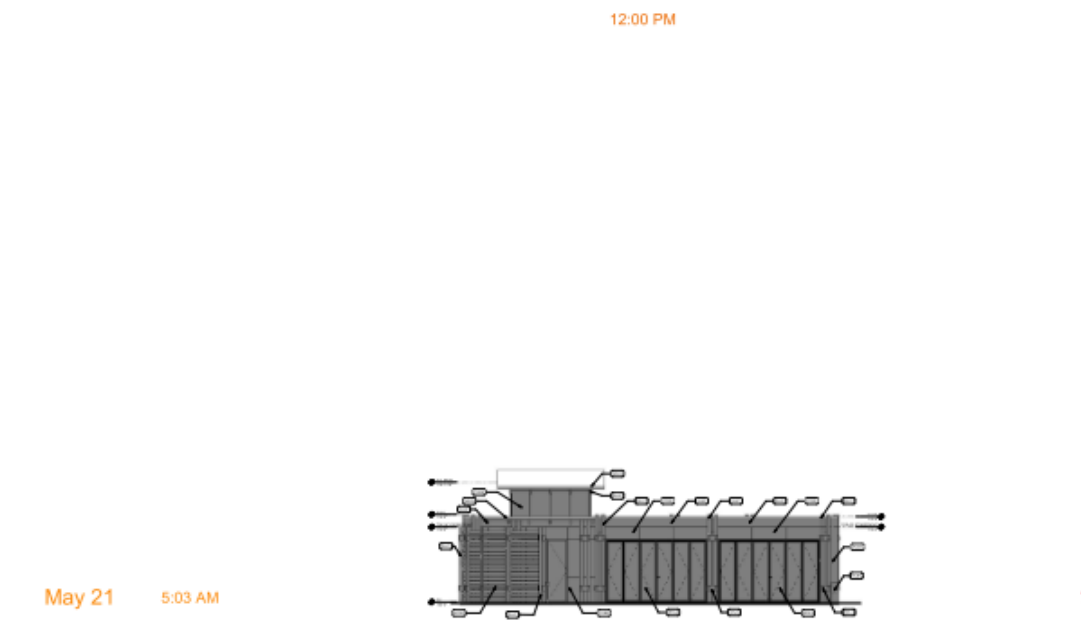
MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87102
PHONE (505) 338-1499 FAX (505) 338-1498



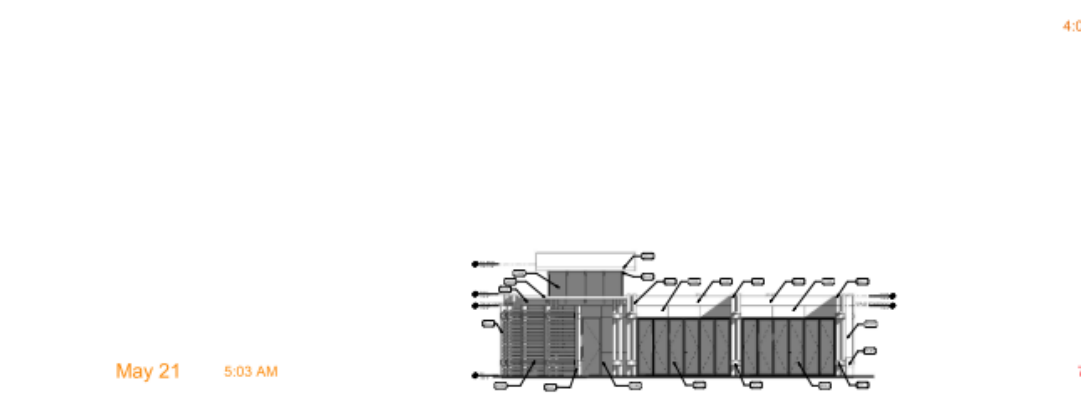
PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD. N.E. ALBUQUERQUE, NEW MEXICO	JOB NO. WIN-PARK	DRAWN BY: S
PROJECT MANAGER STEPHEN DUNBAR, AIA	SHEET TITLE PROPOSED ROAD-E	
DATE: 10/1/2021	SHEET NO. SP-1D	
SCALE: RE: SCALE		



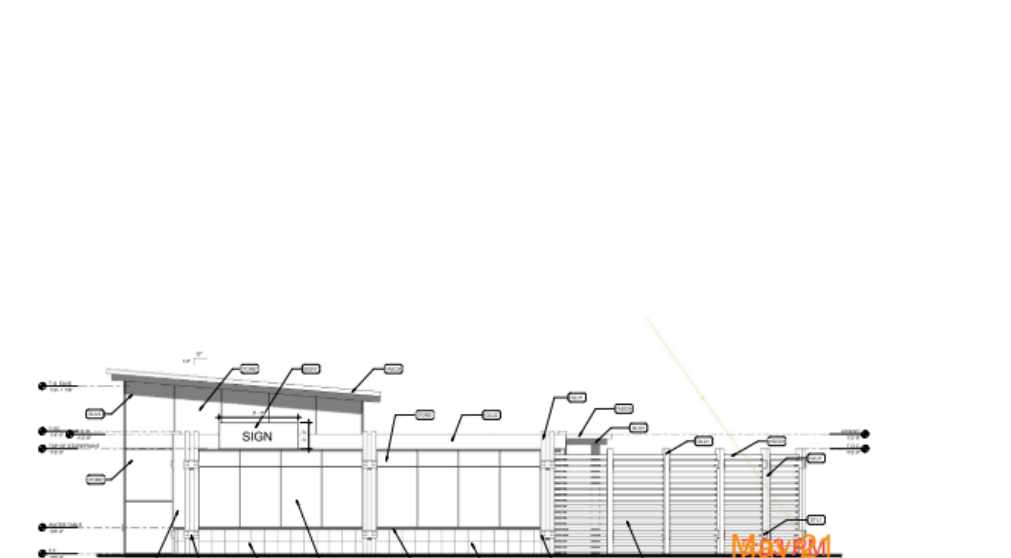
NORTH ELEVATION 9, 12 & 4



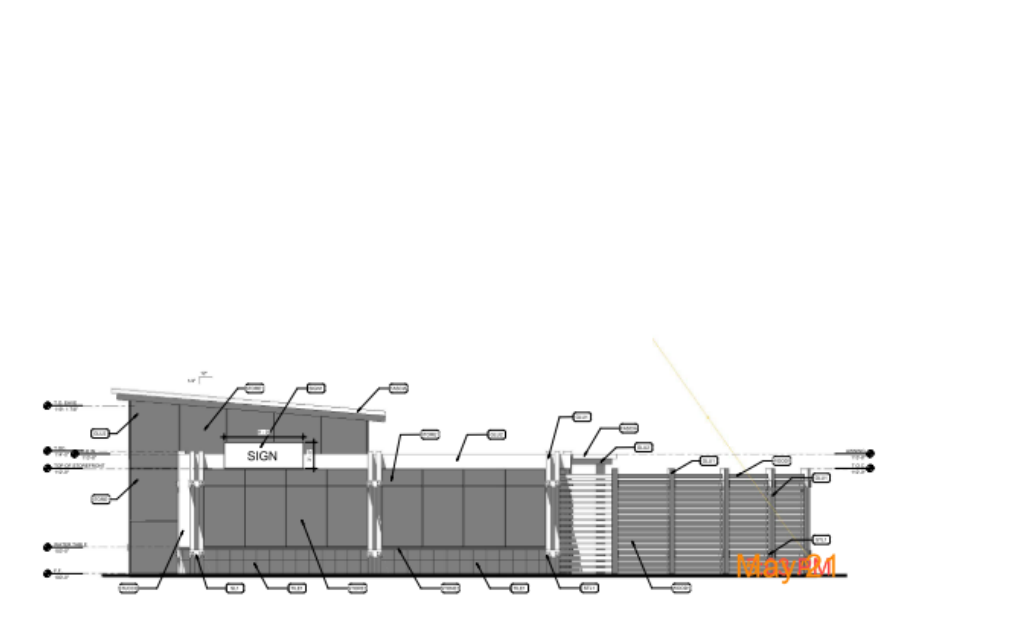
NORTH ELEVATION 9, 12 & 4



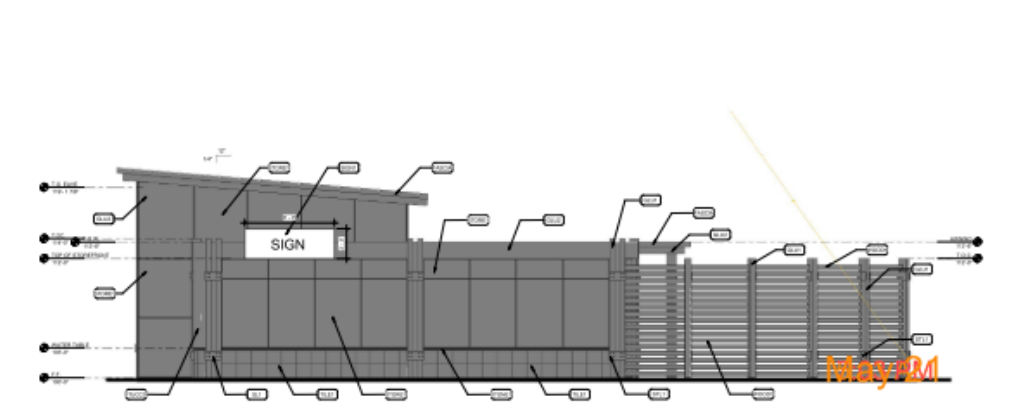
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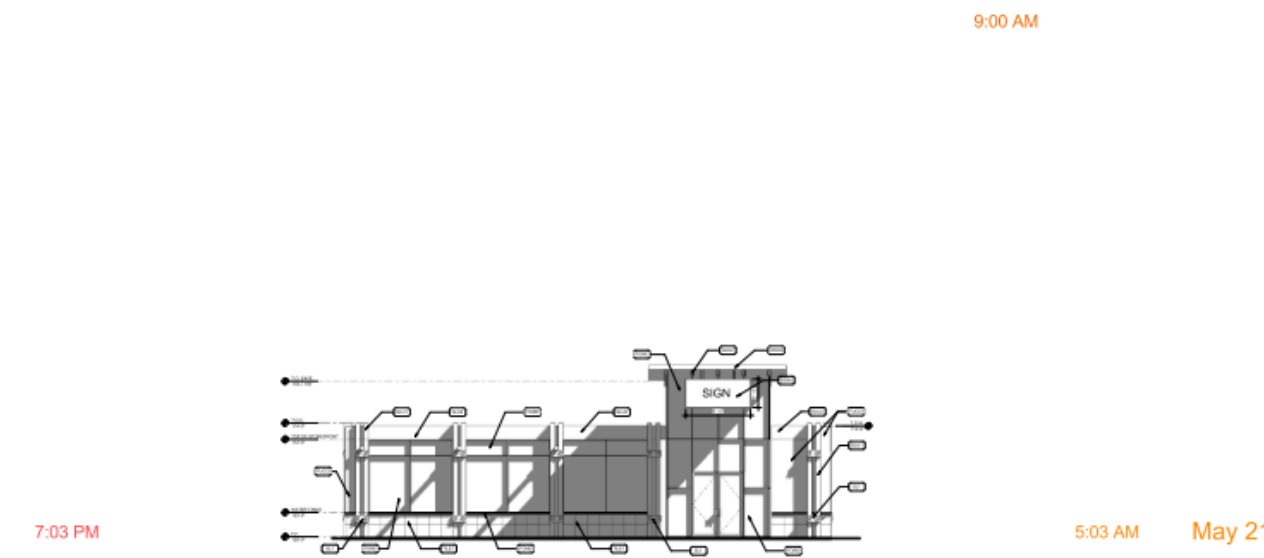
EAST ELEVATION 9, 12 & 4



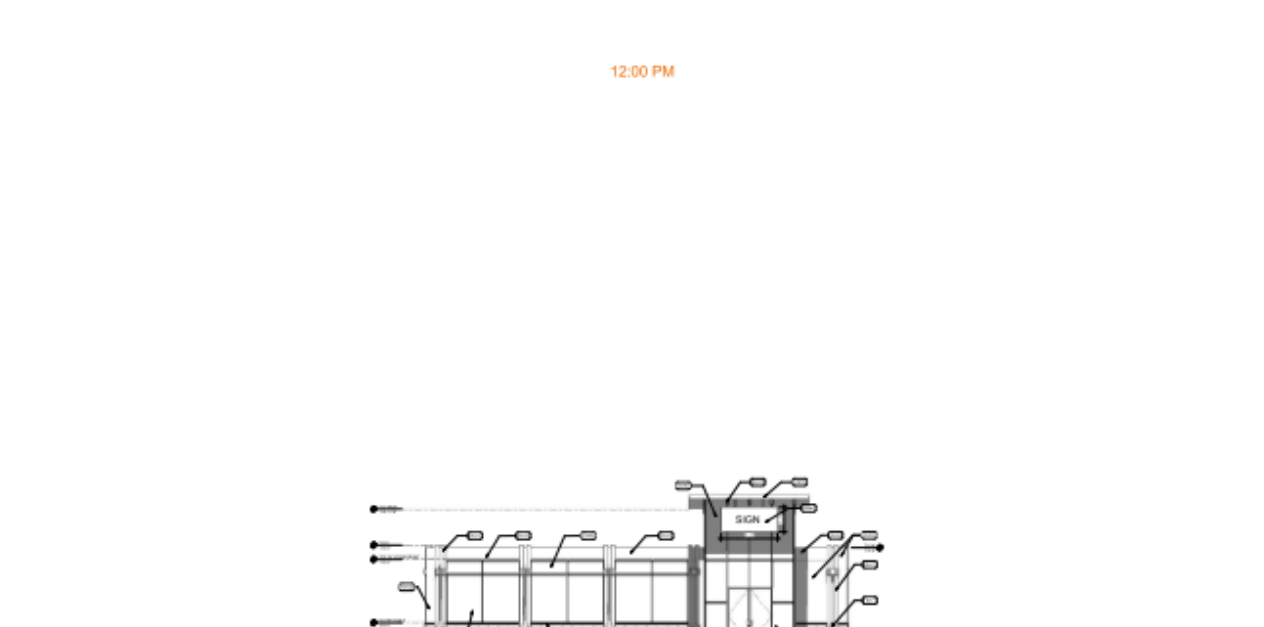
EAST ELEVATION 9, 12 & 4



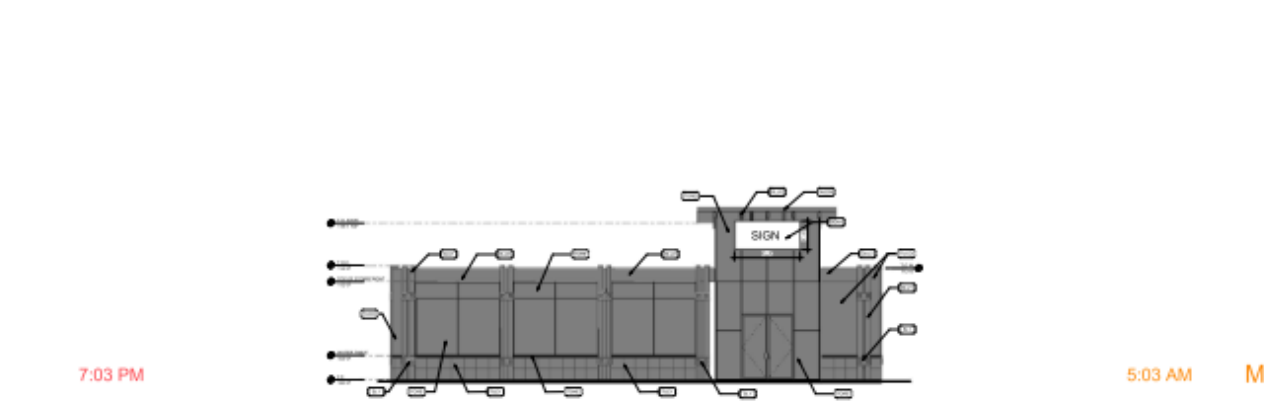
EAST ELEVATION 9, 12 & 4



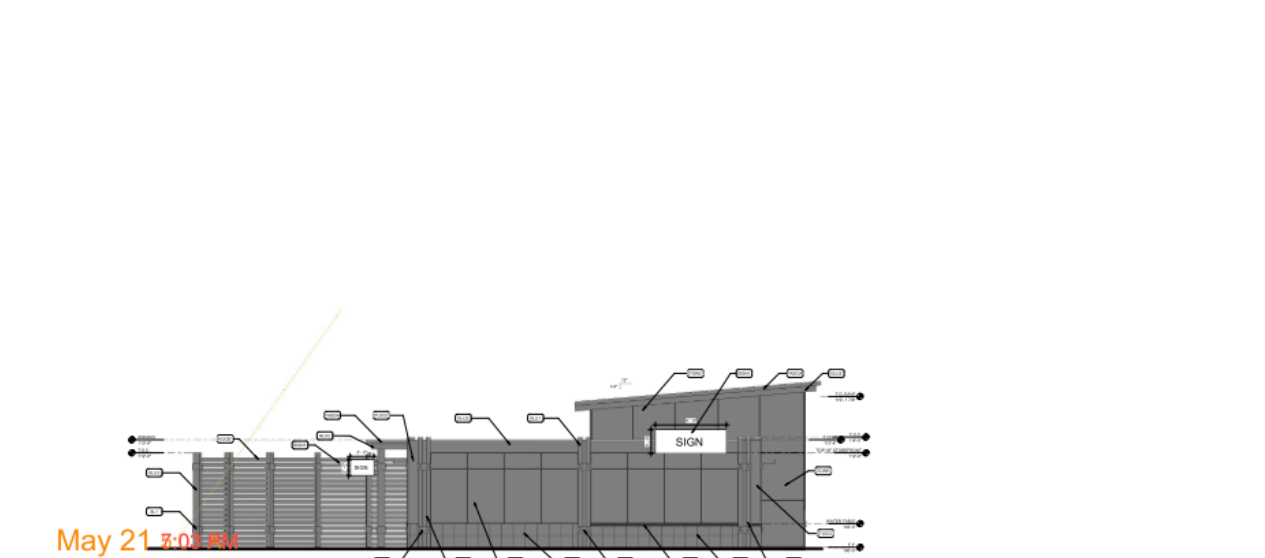
SOUTH ELEVATION 9, 12 & 4



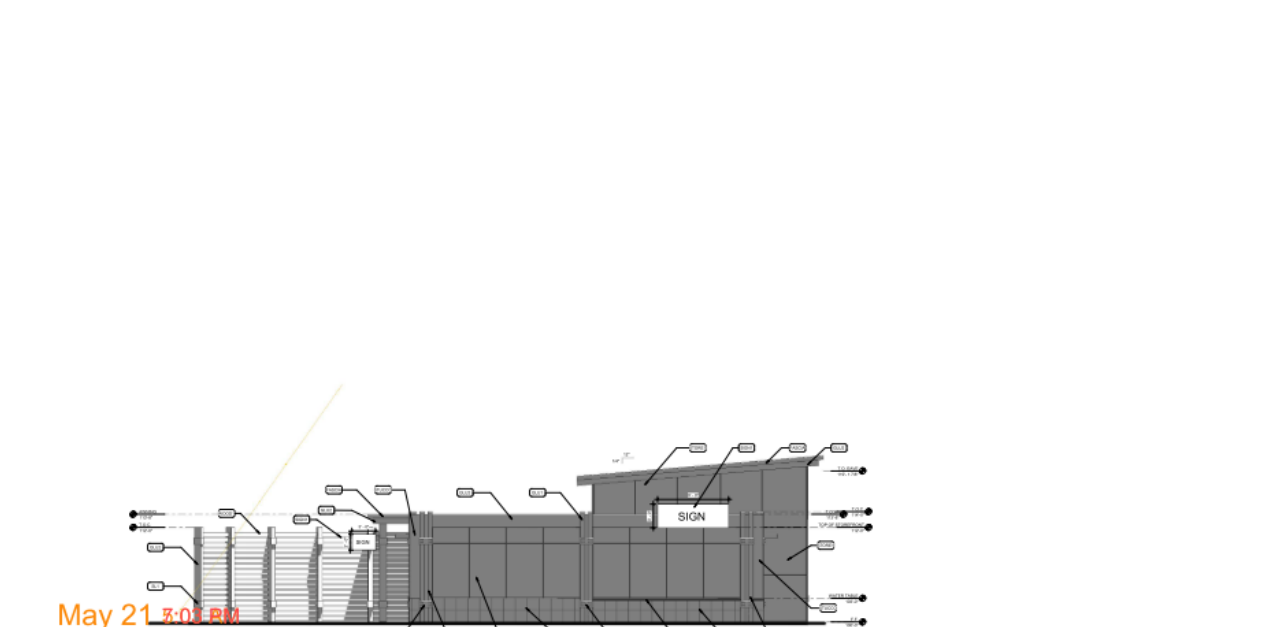
SOUTH ELEVATION 9, 12 & 4



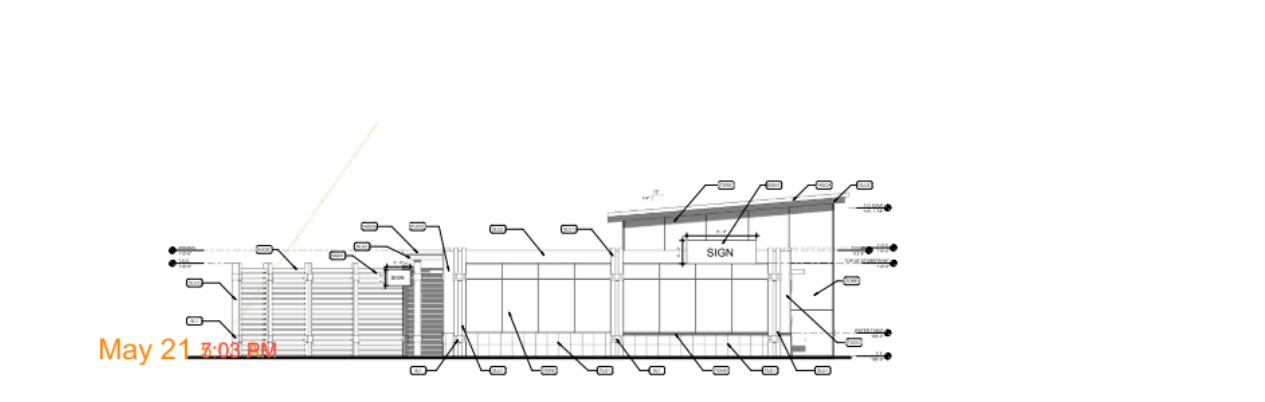
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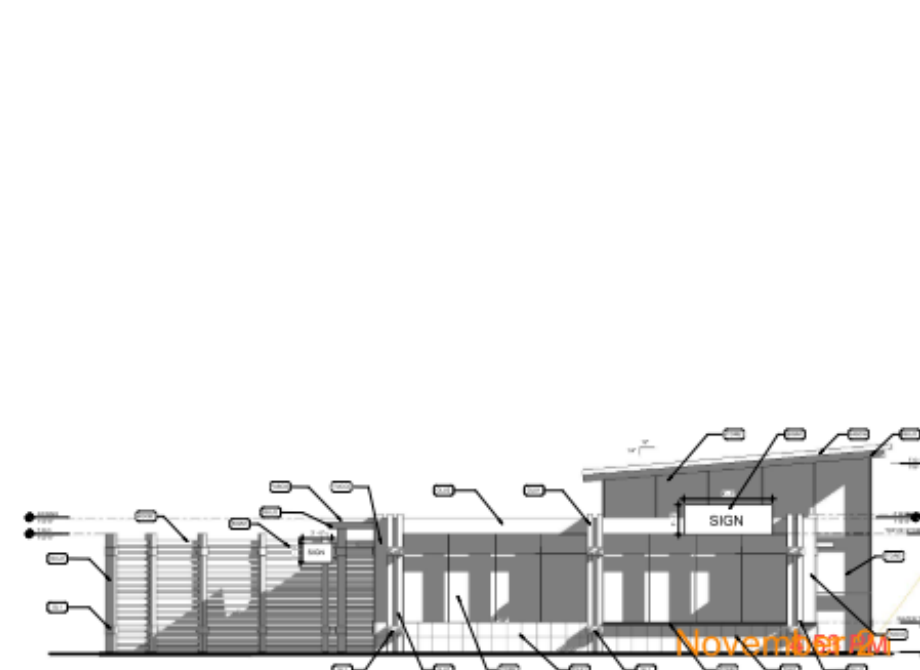
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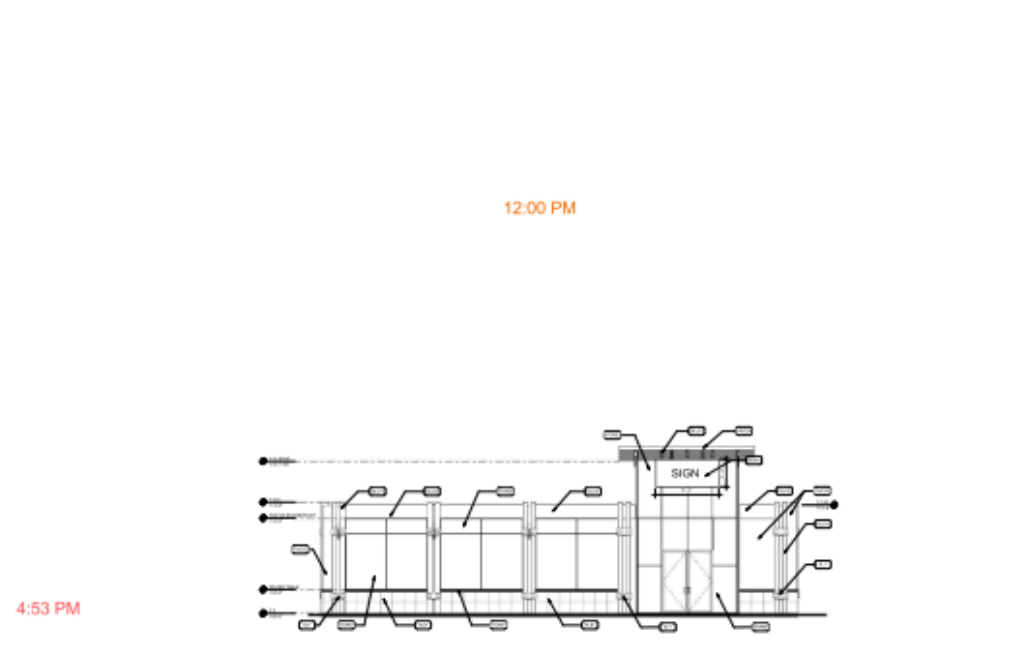
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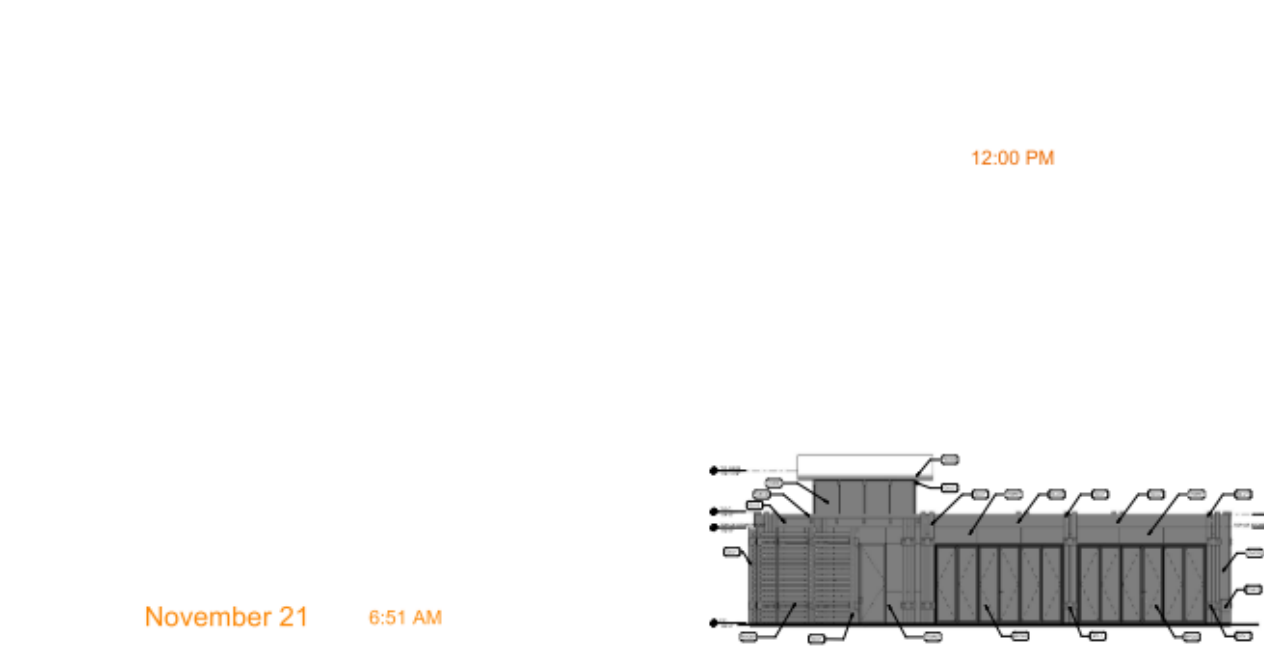
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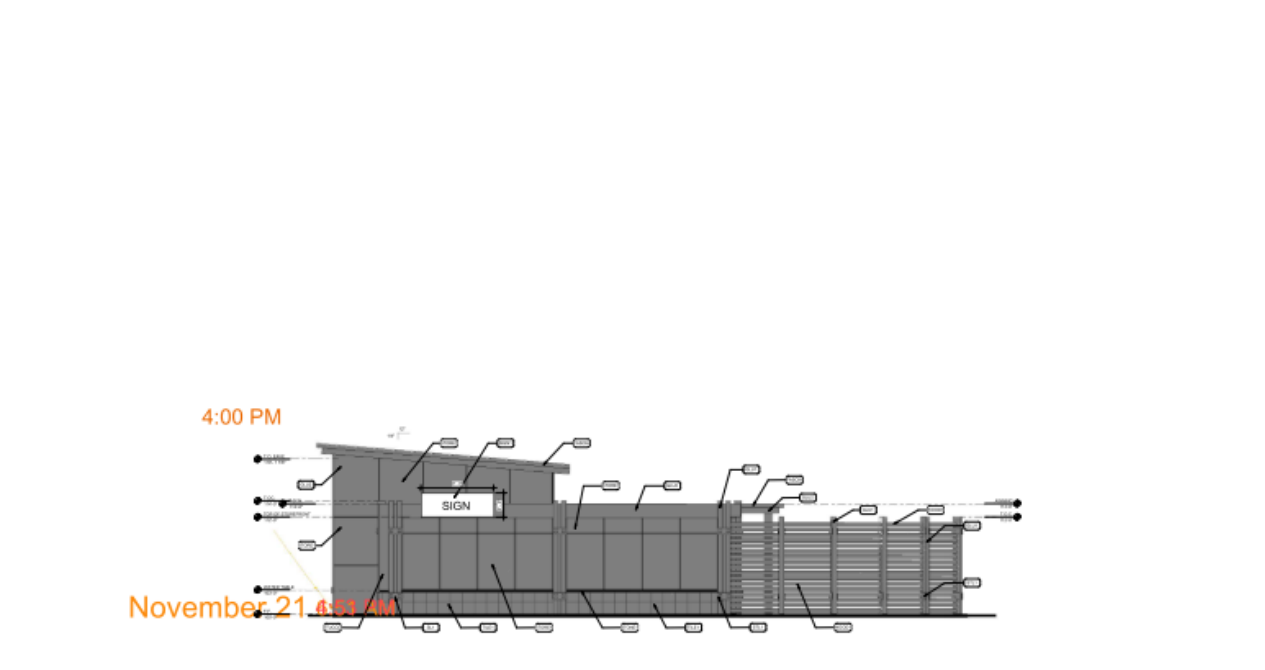
NORTH ELEVATION 9, 12 & 4 WINTER



EAST ELEVATION 9, 12 & 4 WINTER



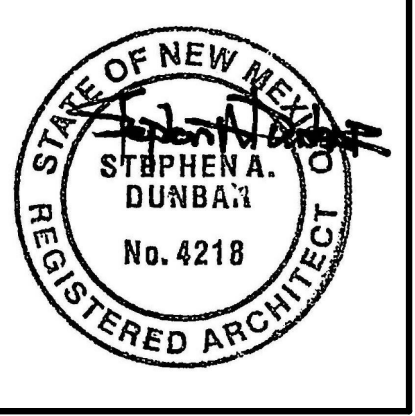
SOUTH ELEVATION 9, 12 & 4 WINTER



WEST ELEVATION 9, 12 & 4 WINTER

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161



PROJECT TITLE
WINROCK TOWN CENTER PARK
 Enter address here

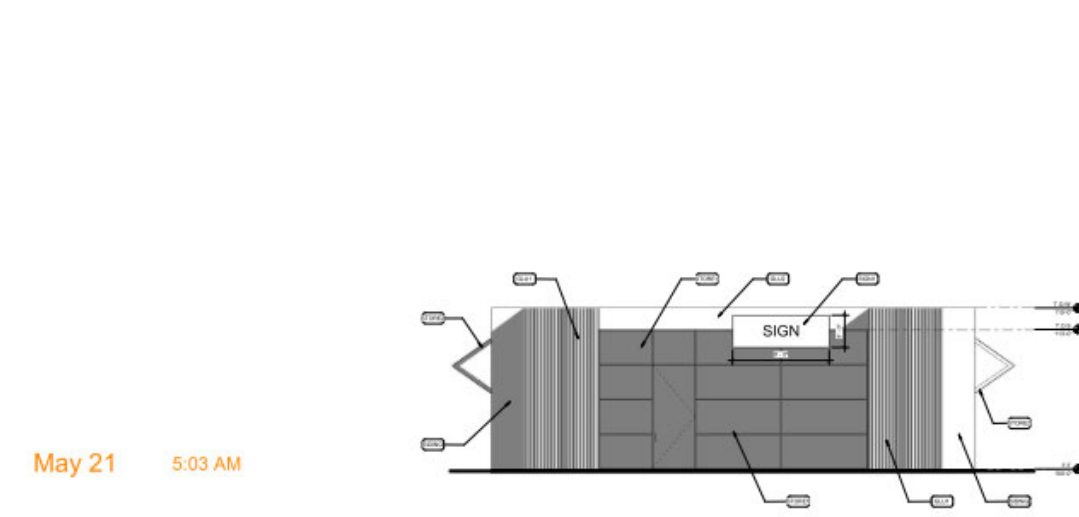
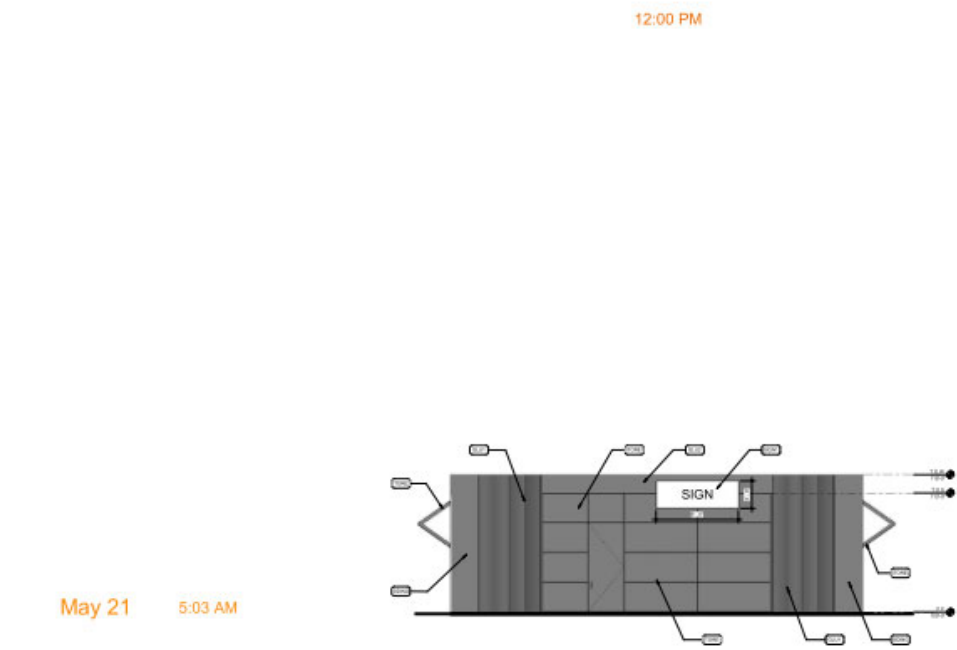
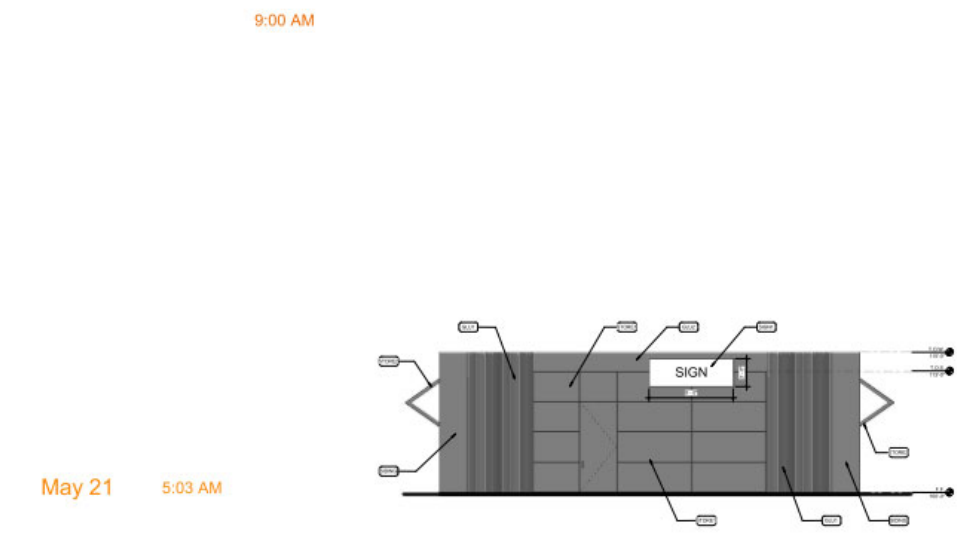
PROJECT MANAGER

JOB NO.
Project Number

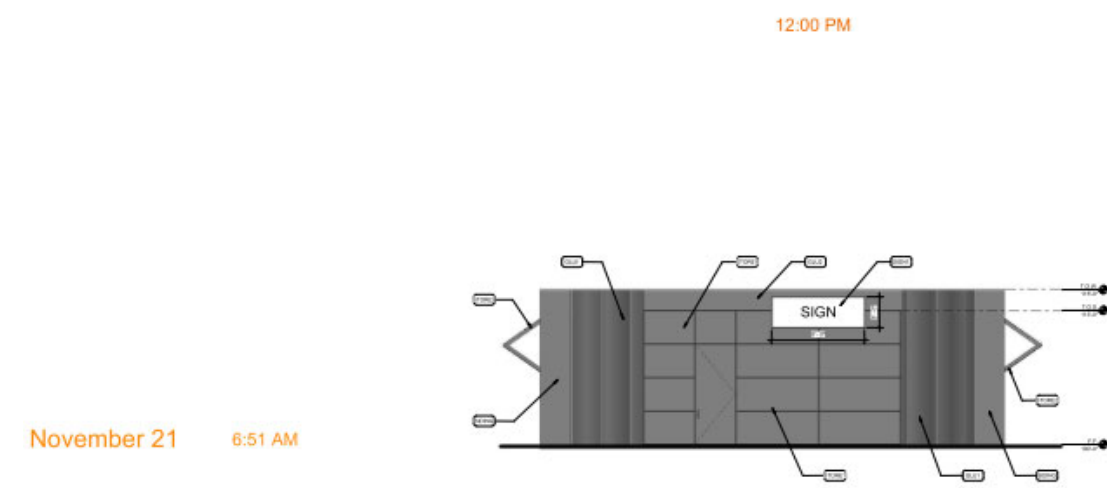
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SHEET TITLE
SUN & SHADE ANALYSIS BLDG2

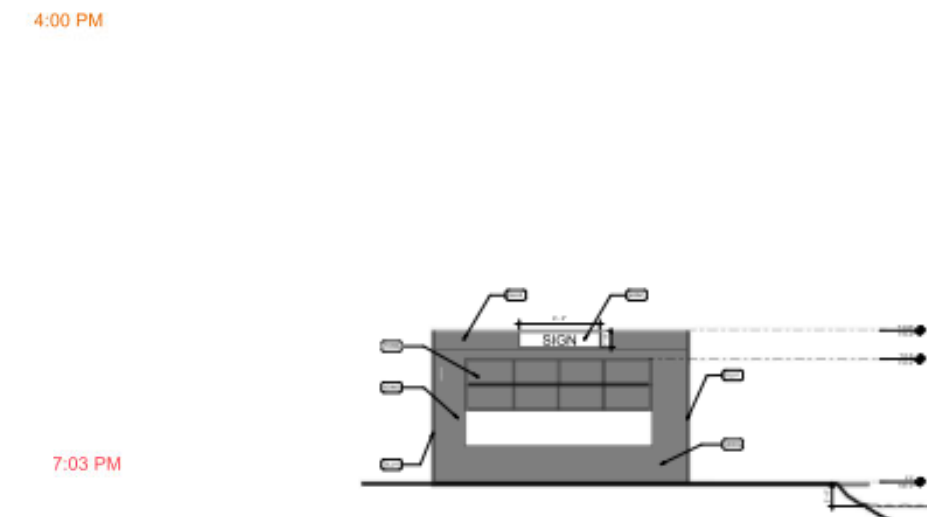
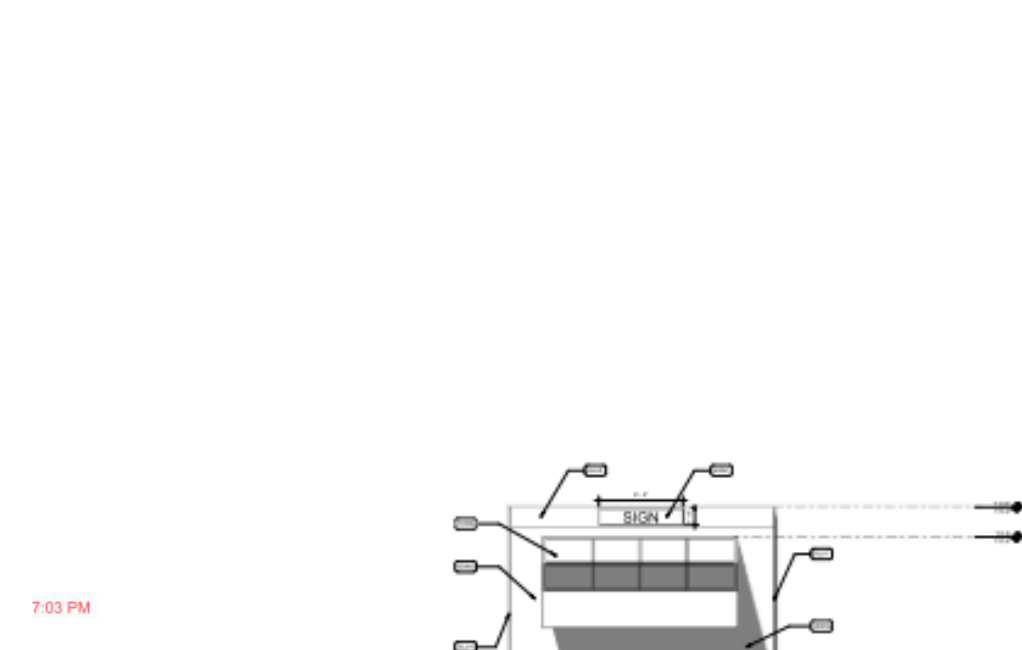
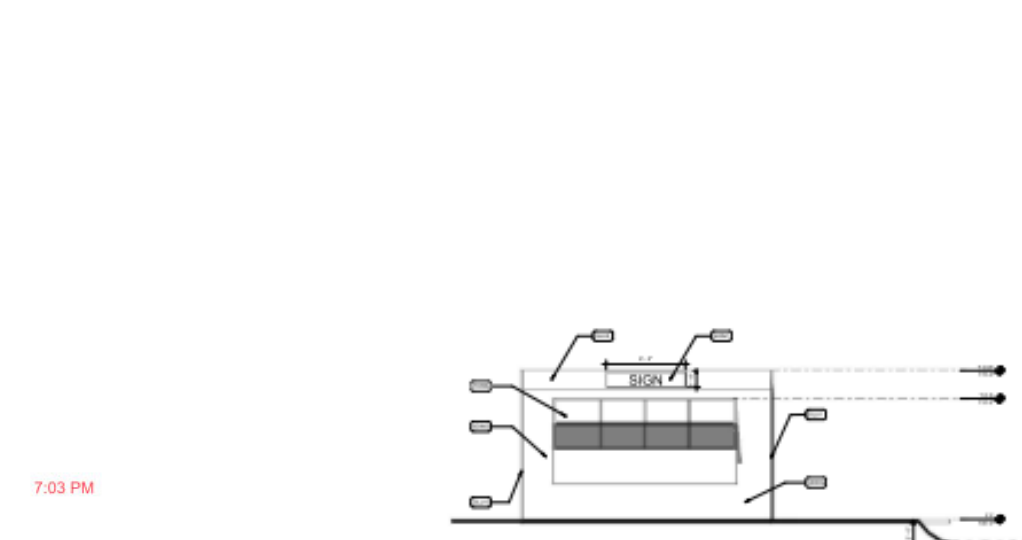
DATE 10/1/2021	SHEET A005
SCALE:	



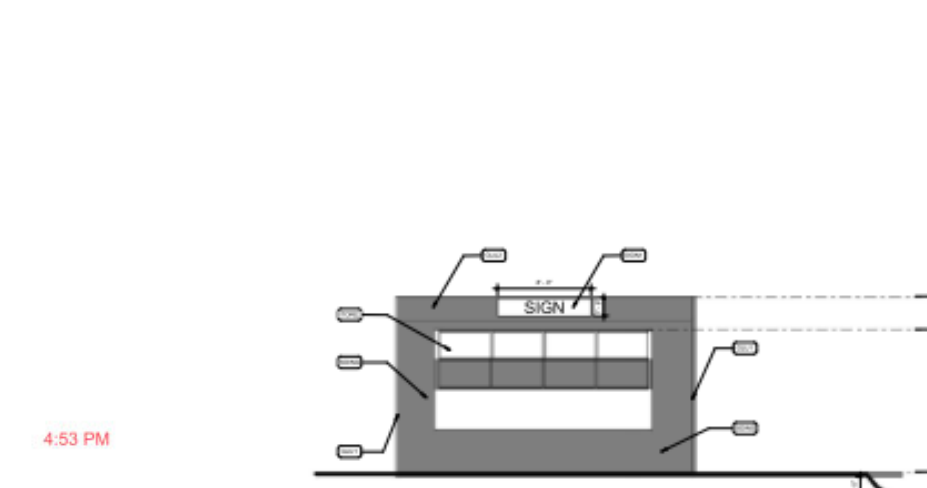
NORTH ELEVATION 9, 12, AND 4



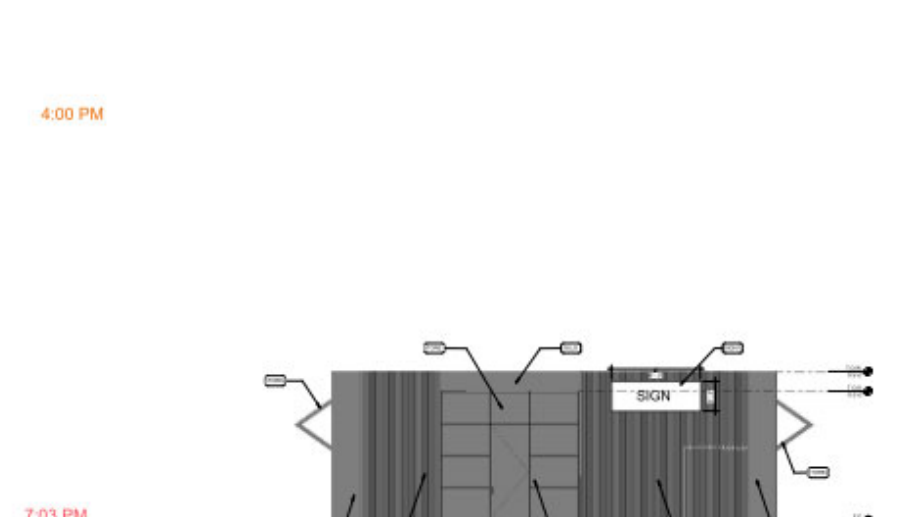
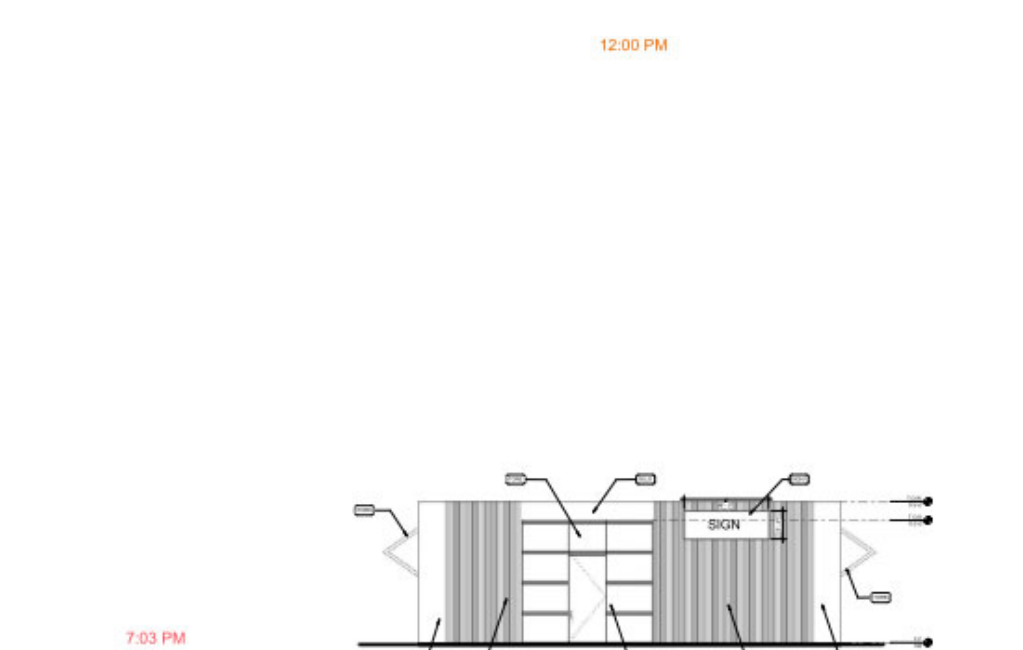
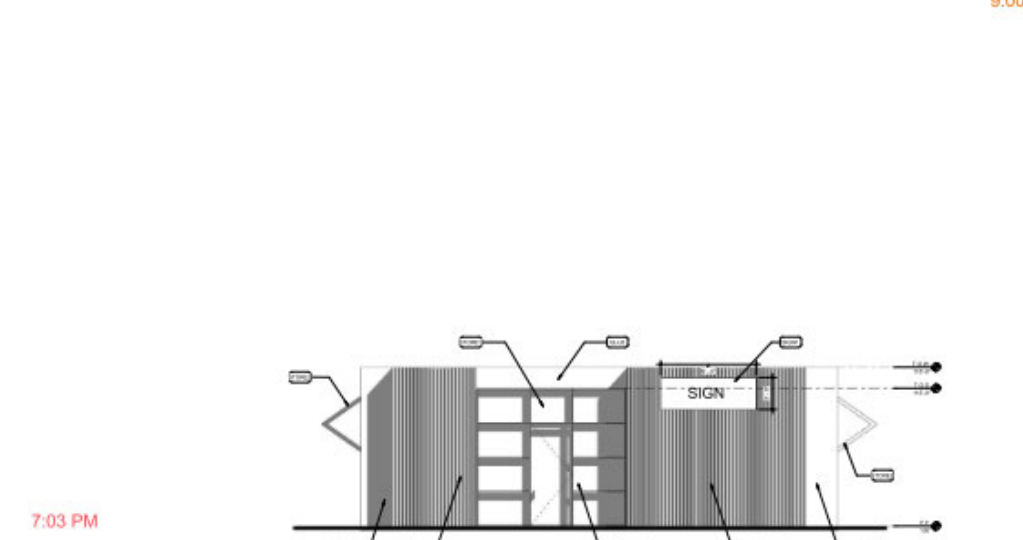
NORTH ELEVATION 9, 12, AND 4 WINTER



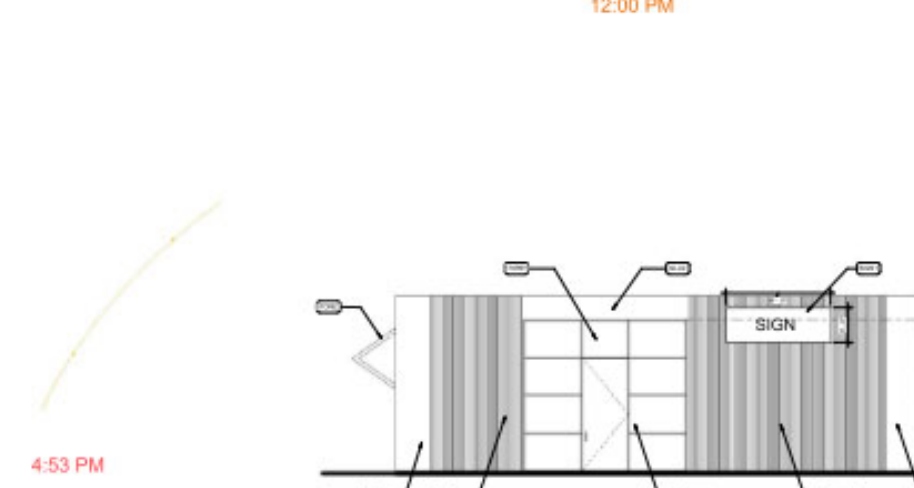
EAST ELEVATION 9, 12, AND 4



EAST ELEVATION 9, 12, AND 4 WINTER



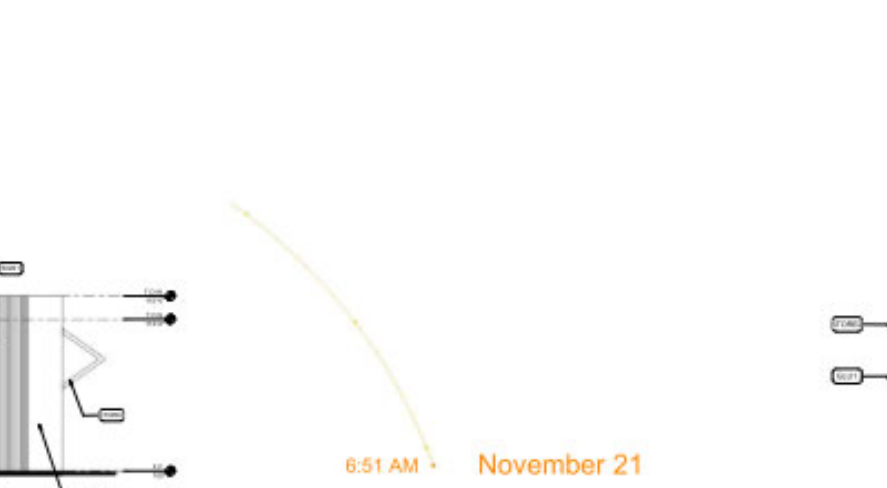
SOUTH ELEVATION 9, 12, AND 4



SOUTH ELEVATION 9, 12, AND 4 WINTER



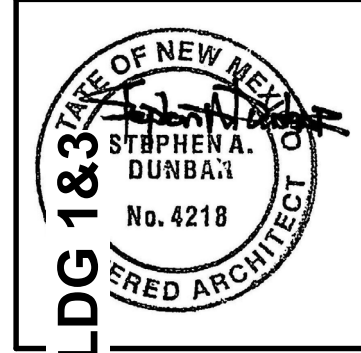
WEST ELEVATION 9, 12, AND 4



WEST ELEVATION 9, 12, AND 4 WINTER

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVENUE NE SUITE 305
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

PROJECT TITLE
WINROCK TOWN CENTER PARK BLDG 1&3

Enter address here

PROJECT MANAGER

JOB NO. []
 Number

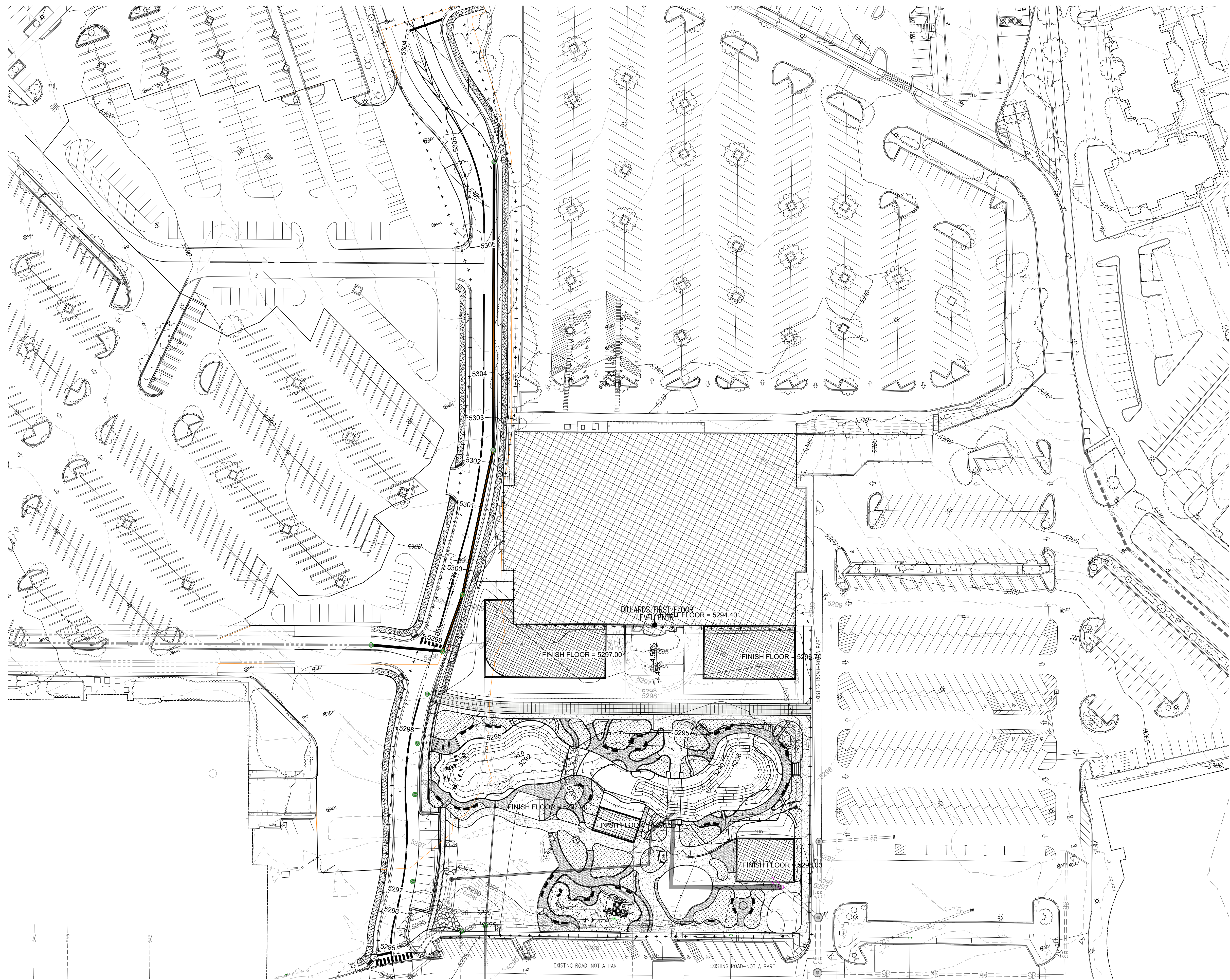
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SHEET TITLE
SUN & SHADE ANALYSIS BLDG 1

DATE
 10/1/2021

SHEET
A006

SCALE:

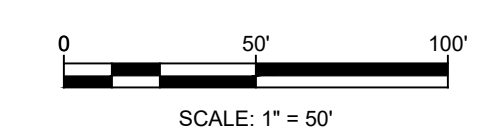


LEGEND

- - - 5050 EXISTING (INDEX) CONTOUR
- - - 5251 EXISTING (INTERMEDIATE) CONTOUR
- - - 5040 PROPOSED (INDEX) CONTOUR
- - - 5041 PROPOSED (INTERMEDIATE) CONTOUR
- ~ WATER BLOCK
- NEW CURB & GUTTER
- FUTURE CURB & GUTTER
- XX.XXTP TOP OF PAVEMENT
- XX.XXTC TOP OF CURB ELEVATION
- XX.XXFL FLOW LINE ELEVATION
- XX.XXTC TOP OF CONCRETE
- FLOW DIRECTION
- + + + + GRADING LIMITS
- ▒ GRAVEL MULCH

GENERAL NOTES

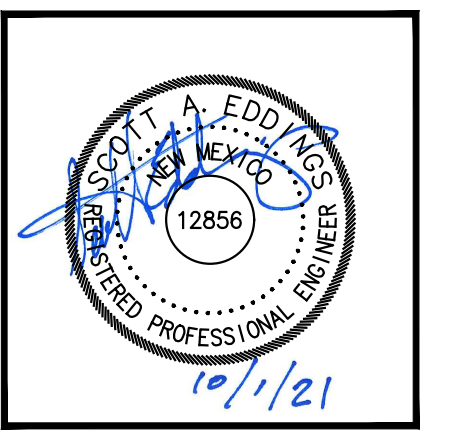
1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAN FOR LOT DIMENSIONS.
3. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
4. CONTRACTOR SHALL PREPARE AND PROCESS DUST CONTROL AND EROSION SEDIMENT CONTROL PLAN THROUGH CITY OF ALBUQUERQUE.
5. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.



HUITT-ZOLIARS

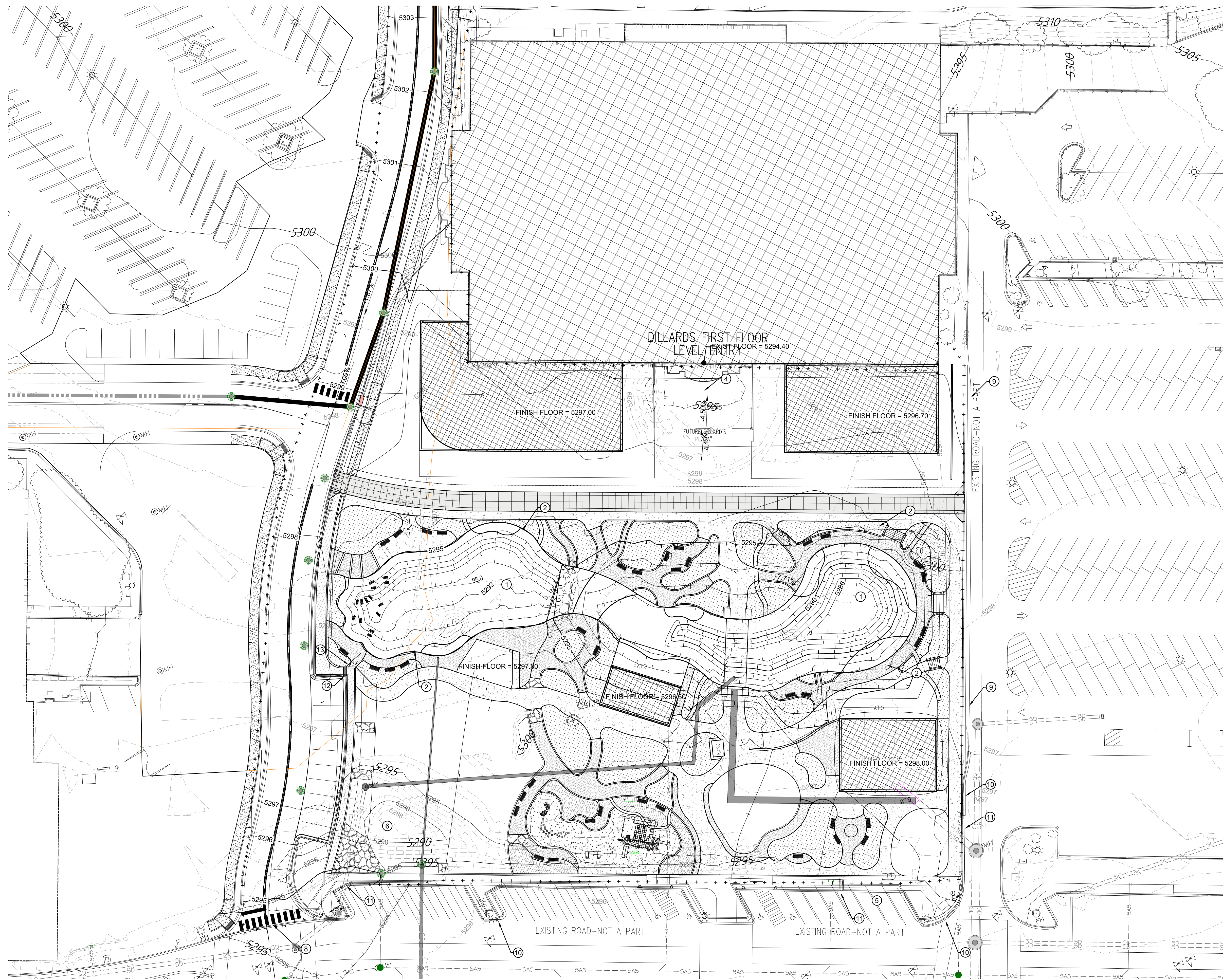
REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 PROJECT NUMBER: JOB NO.
 DRAWN BY:
 SHEET TITLE: DRB ROAD E GRADING PLAN

DATE: 07/29/21
 SCALE: AS NOTED
 SHEET: C100



CONSTRUCTION NOTES (X)

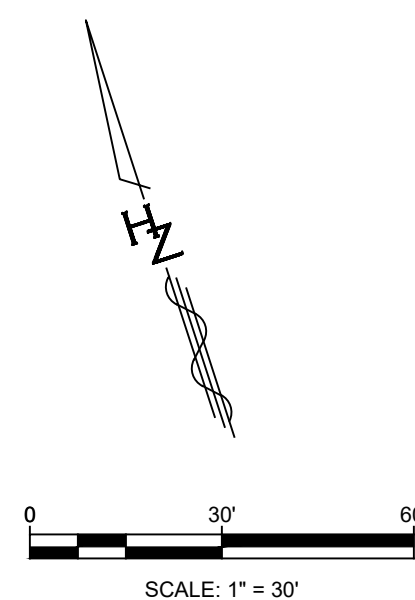
1. ROUGH CUT LAKE - SEE LAKE PLANS FOR DETAILS
2. EDGE CONDITION- SEE LAKE PLANS
3. BUILDING PAD - OVEREX 4 FEET BELOW FOOTING
4. TRENCH DRAIN AT ENTRY WAY
5. SWALE - DISCHARGE INTO LAKE
6. REMOVE TEMPORARY STORM WATER QUALITY FACILITY
7. LAKE PROVIDES STORM WATER QUALITY FOR WINROCK TOWN CENTER
8. REMOVE EXISTING CURB
9. EXISTING ASPHALT TO REMAIN
10. EXISTING CURB OPENING TO REMAIN
11. EXISTING CURB AND GUTTER TO REMAIN
12. INSTALL 24-INCH WIDE SIDEWALK CULVERT PER CITY STANDARD DRAWING.
13. INSTALL GRADED DITCH AND OUTFALL TO LAKE.

LEGEND

- 5050 EXISTING (INDEX) CONTOUR
- 5251 EXISTING (INTERMEDIATE) CONTOUR
- 5040 PROPOSED (INDEX) CONTOUR
- 5041 PROPOSED (INTERMEDIATE) CONTOUR
- WATER BLOCK
- NEW CURB & GUTTER
- FUTURE CURB & GUTTER
- TOP OF PAVEMENT
- TOP OF CURB ELEVATION
- FLOW LINE ELEVATION
- TOP OF CONCRETE
- FLOW DIRECTION
- GRADING LIMITS
- GRAVEL MULCH

GENERAL NOTES

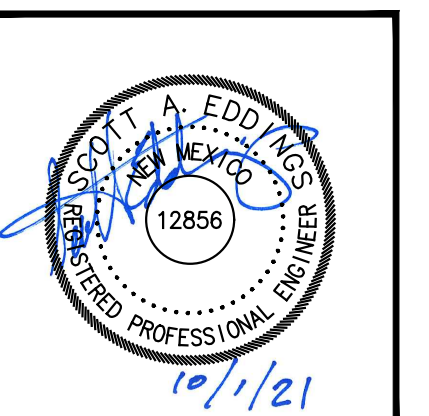
1. ALL DISTURBED COMMERCIAL LOTS AND NON-RESIDENTIAL LOTS AREAS NOT PROPOSED TO BE IMPROVED SHALL BE STRAW CRIMPED W/ NATIVE SEEDING PER COA SPECIFICATION 1011 & 1012.
2. SEE PLAN FOR LOT DIMENSIONS.
3. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
4. CONTRACTOR SHALL PREPARE AND PROCESS DUST CONTROL AND EROSION SEDIMENT CONTROL PLAN THROUGH CITY OF ALBUQUERQUE.
5. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.



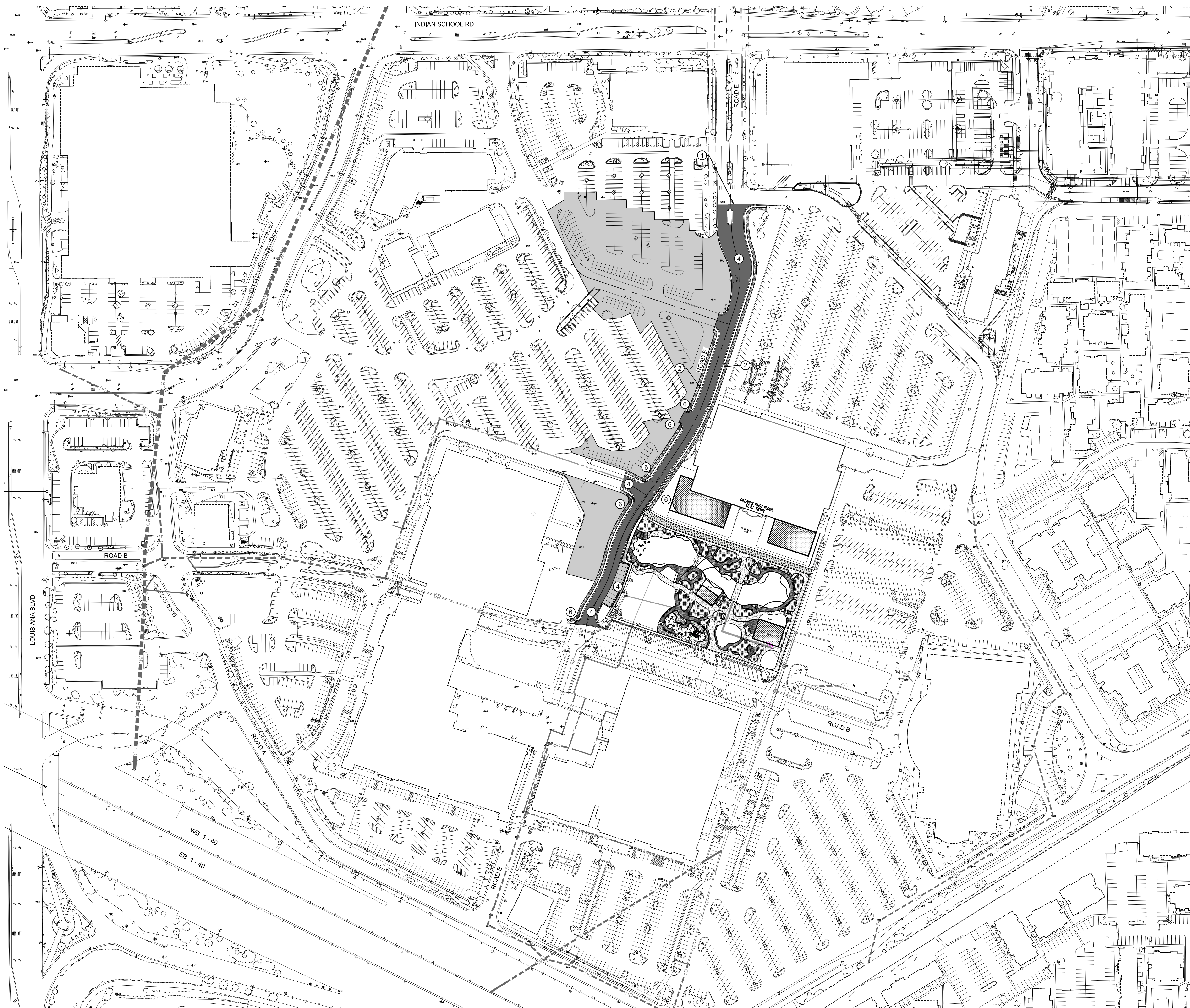
HUITT-ZOLIARS

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. 	DRAWN BY:
PROJECT MANAGER 	SHEET TITLE DRB GRADING PLAN	
DATE 07/29/21	SHEET C101	
SCALE AS NOTED		

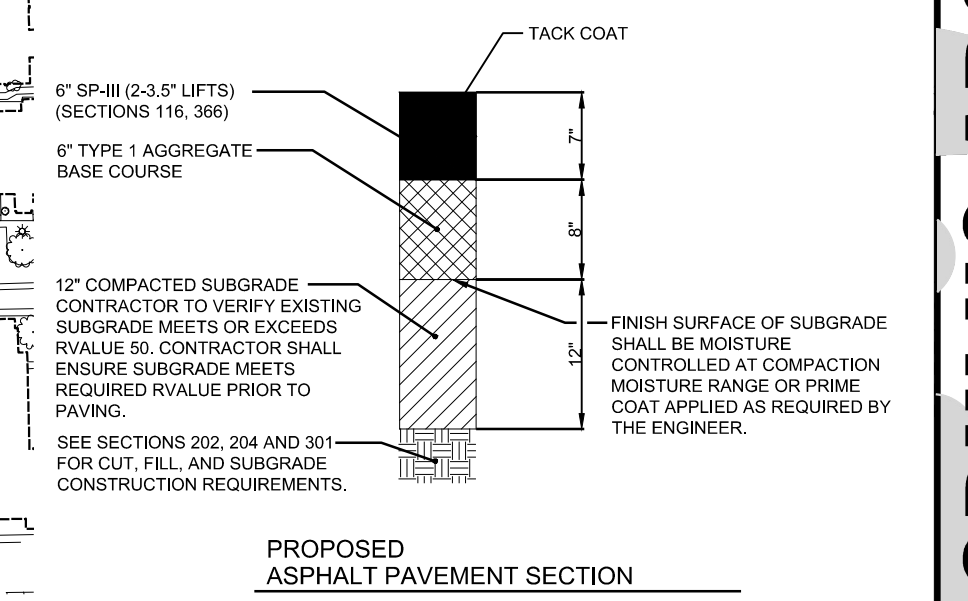


GENERAL NOTES

1. SITE WORK SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWINGS AND SPECIFICATION.
2. CURB AND GUTTER IS 6-INCH.
3. CONCRETE PAVEMENT WITHIN LOADING DOCK AS SHOWN IS BASE BID. DEDUCTIVE ALTERNATE TO REPLACE WITH HEAVY DUTY ASPHALT.

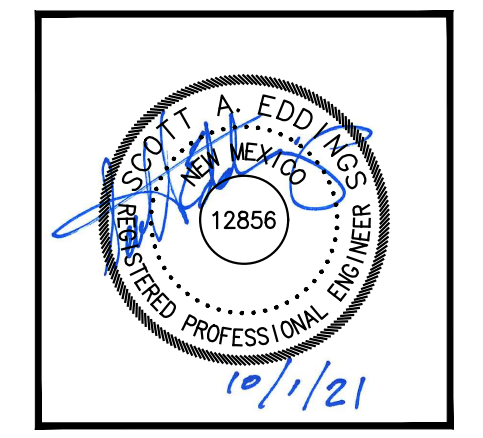
CONSTRUCTION NOTES

1. NEAT CUT EXISTING ASPHALT.
2. INSTALL CURB AND GUTTER.
3. INSTALL SEAL COAT - ERRIDATE AND REPLACE STRIPING.
4. INSTALL HEAVY DUTY ASPHALT PAVEMENT.
5. INSTALL 4-INCH CONCRETE SIDEWALK.
6. INSTALL ADA ACCESSIBLE CURB RAMPS PER APPROVED WORK ORDER.



REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 PROJECT NUMBER:
 JOB NO:
 DRAWN BY:
 SHEET TITLE: CONCEPTUAL SITE PAVING PLAN

DATE: 07/29/21
 SCALE: AS NOTED
 SHEET: C200



CONSTRUCTION NOTES

1. PROPOSED PUBLIC 8-INCH SANITARY SEWER LINE
2. PROPOSED PUBLIC 8-INCH WATER LINE
3. PROPOSED PUBLIC 8-INCH REUSE LINE
4. PROPOSED PUBLIC FIRE HYDRANT
5. PROPOSED SANITARY SEWER YARD LINE, EXTEND FROM EXISTING SERVICE IF AVAILABLE
6. PROPOSED WATER YARD LINE, EXTEND FROM EXISTING SERVICE IF AVAILABLE
7. PROPOSED REUSE LAKE FILL LINE, EXTEND FROM EXISTING SERVICE
8. REMOVE EXISTING SANITARY YARD LINE
9. UTILIZE EXISTING SANITARY SEWER YARD LINE
10. REMOVE EXISTING PUBLIC WATER LINE
11. REMOVE EXISTING WATER APPURTENANCES
12. REMOVE AND RELOCATE STORM DRAIN TO LAKE
13. PROPOSED WATER METER
14. EXISTING PUBLIC WATER LINE TO REMAIN
15. EXISTING PUBLIC SANITARY SEWER LINE TO REMAIN
16. EXISTING PUBLIC REUSE WATER LINE TO REMAIN
17. PROPOSED WASTE WATER TREATMENT FACILITY
18. REMOVE EXISTING PRIVATE SANITARY SEWER LINE, BY PASS PUMP AS REQUIRED.

LEGEND

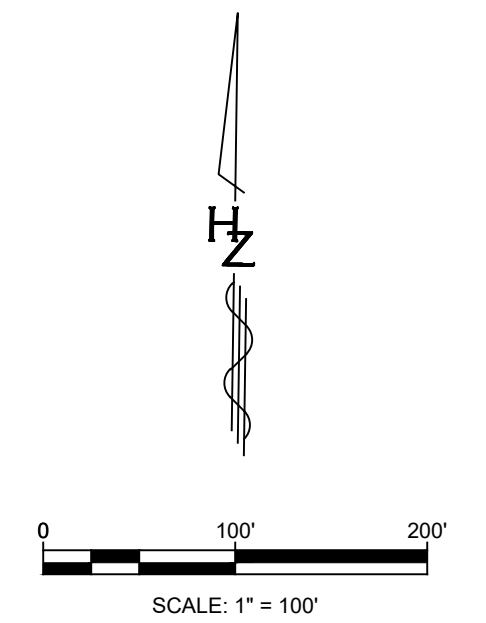
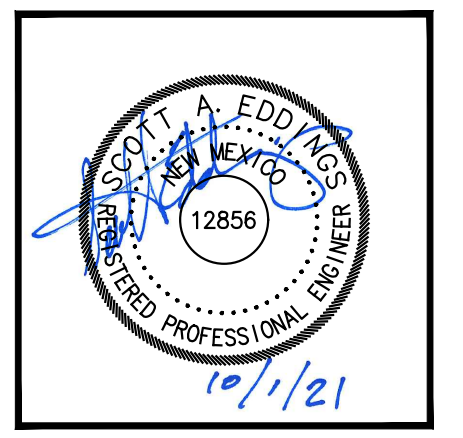
- SAS --- EXISTING SAS LINE
- SD --- SD --- EXISTING STORM DRAIN LINE
- W --- W --- EXISTING WATER LINE
- REUSE --- EXISTING REUSE WATER LINE
- S --- PROPOSED SEWER LINE
- SAS --- PROPOSED SAS LINE
- SD --- SD --- PROPOSED STORM DRAIN LINE
- W --- W --- PROPOSED WATER LINE
- REUSE --- PROPOSED REUSE WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- PROPOSED WATER METER

GENERAL NOTES

1. SEE PLAT FOR UTILITY EASEMENTS.
2. PUBLIC WATER AND SEWER LINE BY WORK ORDER.

REV	DATE	BY	REVISION

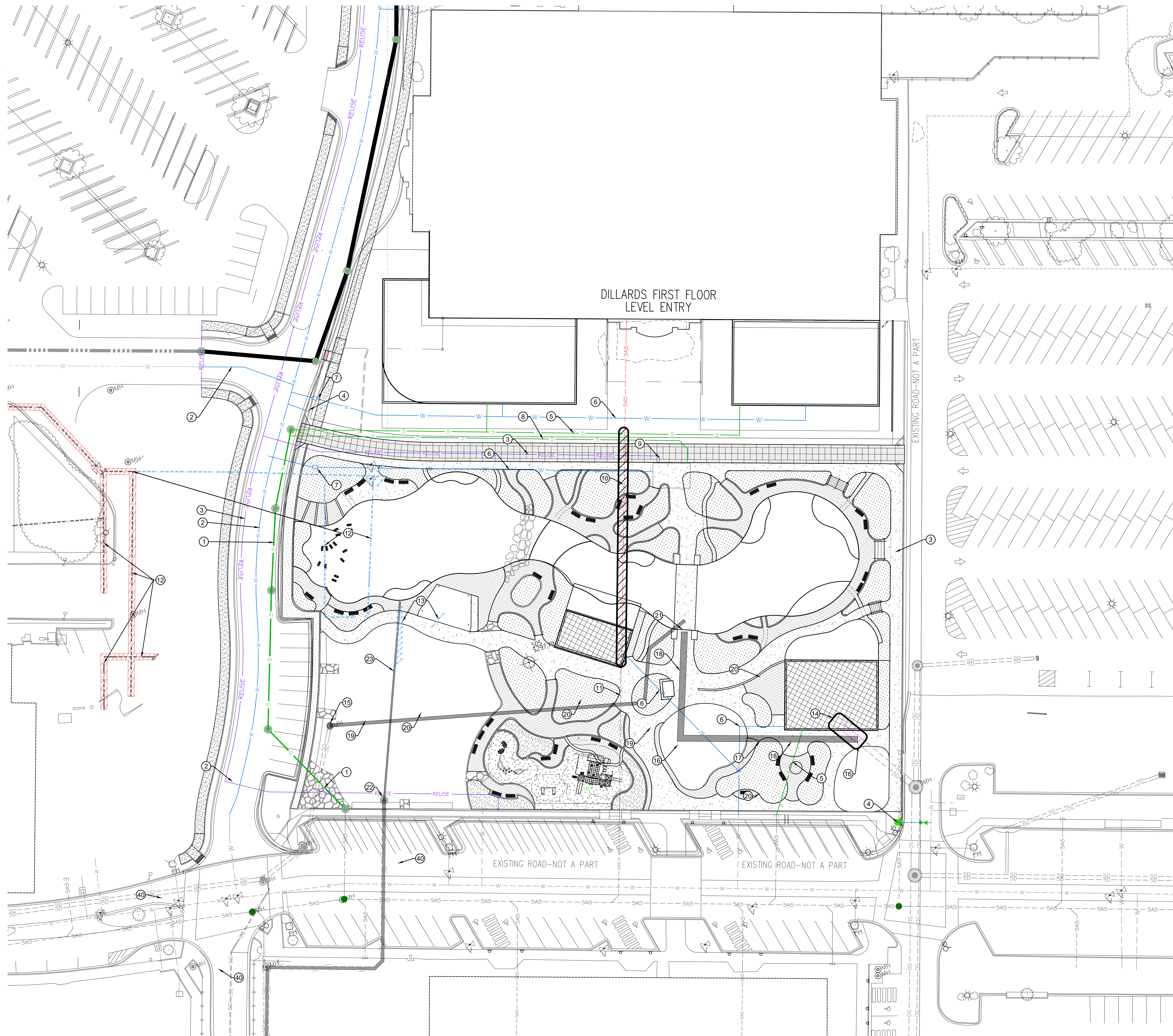
MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 PROJECT NUMBER: 100-100-100-100
 DRAWN BY: [Name]
 SHEET TITLE: CONCEPTUAL SITE UTILITY PLAN

DATE: 07/29/21
 SCALE: AS NOTED
 SHEET: C200

HUITT-ZOLIARS



CONSTRUCTION NOTES ⓧ

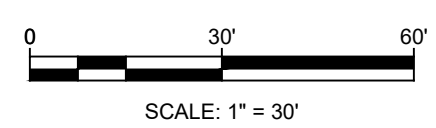
1. PROPOSED PUBLIC 8-INCH SANITARY SEWER LINE
2. PROPOSED PUBLIC 8-INCH WATER LINE
3. PROPOSED PUBLIC 8-INCH REUSE LINE
4. PROPOSED PUBLIC FIRE HYDRANT
5. PROPOSED 6-INCH SANITARY SEWER YARD LINE
6. PROPOSED 2-INCH WATER YARD LINE
7. PROPOSED WATER METER
8. PROPOSED 2-INCH REUSE LAKE FILL LINE
9. PROPOSED 3-INCH SANITARY SEWER FORCE MAIN
10. REMOVE EXISTING SANITARY YARD LINE
11. UTILIZE EXISTING SANITARY SEWER YARD LINE
12. REMOVE EXISTING PUBLIC WATER LINE
13. REMOVE EXISTING WATER APPURTANANCES
14. REMOVE EXISTING 48-INCH DIA. STORM DRAIN AND 8' DIA. MANHOLE
15. REMOVE EXISTING STORM WATER QUALITY INLET AND REPLACE WITH MANHOLE RING AND COVER. ADJUST TO GRADE
16. INSTALL 8' DIA. MANHOLE (REUSE EXISTING IF AVAILABLE)
17. INSTALL 6' DIA. MANHOLE
18. INSTALL 48-INCH DIA. HPPP STORM DRAIN
19. INSTALL 24-INCH DIA. HPPP STORM DRAIN
20. INSTALL TYPE D INLET WITH PEDESTRIAN GRATE
21. INSTALL POND OVERFLOW INLET
22. INSTALL 4' DIA. MANHOLE WITH 1/2 HORSEPOWER STORMWATER PUMP WITH FLOAT. CONNECT TO EXISTING STORM DRAIN PLUMBED TO ROOF DRAINAGE SYSTEM. INV APPROX. 11.5 FEET BELOW GROUND LEVEL.
23. INSTALL 4-INCH PVC STORM WATER FORCE MAIN. DAYLIGHT INTO POND.
40. EXISTING 2-INCH CONDUIT

LEGEND

- SAS --- EXISTING SAS LINE
- SD- -SD- EXISTING STORM DRAIN LINE
- W- -W- EXISTING WATER LINE
- REUSE- EXISTING REUSE WATER LINE
- S --- PROPOSED SEWER LINE
- SAS --- PROPOSED SAS LINE
- SD --- PROPOSED STORM DRAIN LINE
- W --- PROPOSED WATER LINE
- REUSE --- PROPOSED REUSE WATER LINE
- ▲ PROPOSED FIRE HYDRANT
- PROPOSED MANHOLE
- PROPOSED WATER METER

GENERAL NOTES

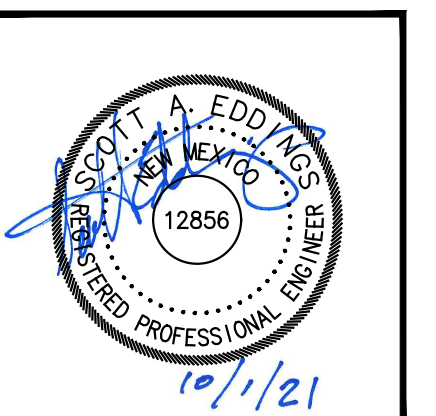
1. SEE PLAT FOR UTILITY EASEMENTS.
2. PUBLIC WATER AND SEWER LINE BY WORK ORDER.



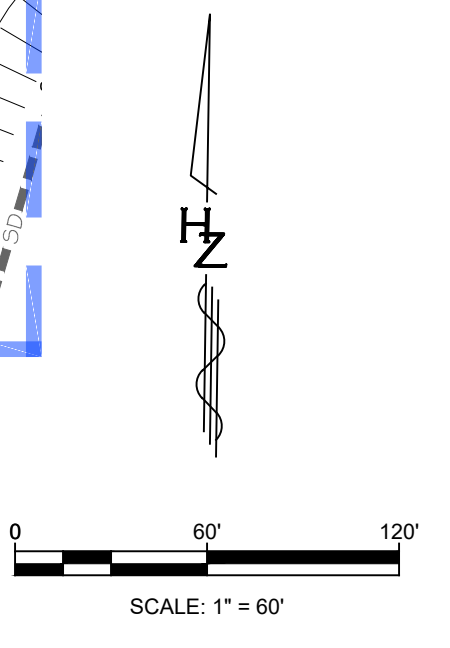
HUIT-ZOLIARS

REV	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



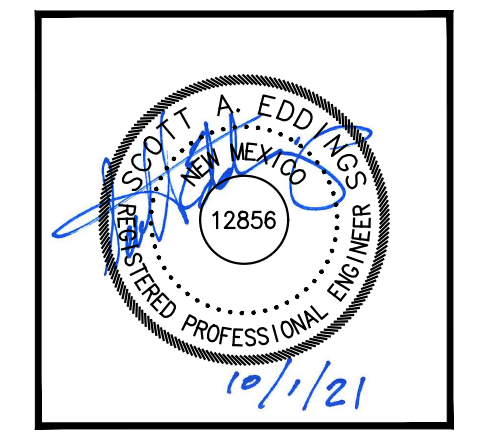
PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. 	DRAWN BY
PROJECT MANAGER 	SHEET TITLE CONCEPTUAL UTILITY PLAN	
DATE 07/29/21	SHEET NO. C201	
SCALE AS NOTED		



HUITT-ZOLIARS

REV	DATE	BY	REVISION
△			
△			
△			
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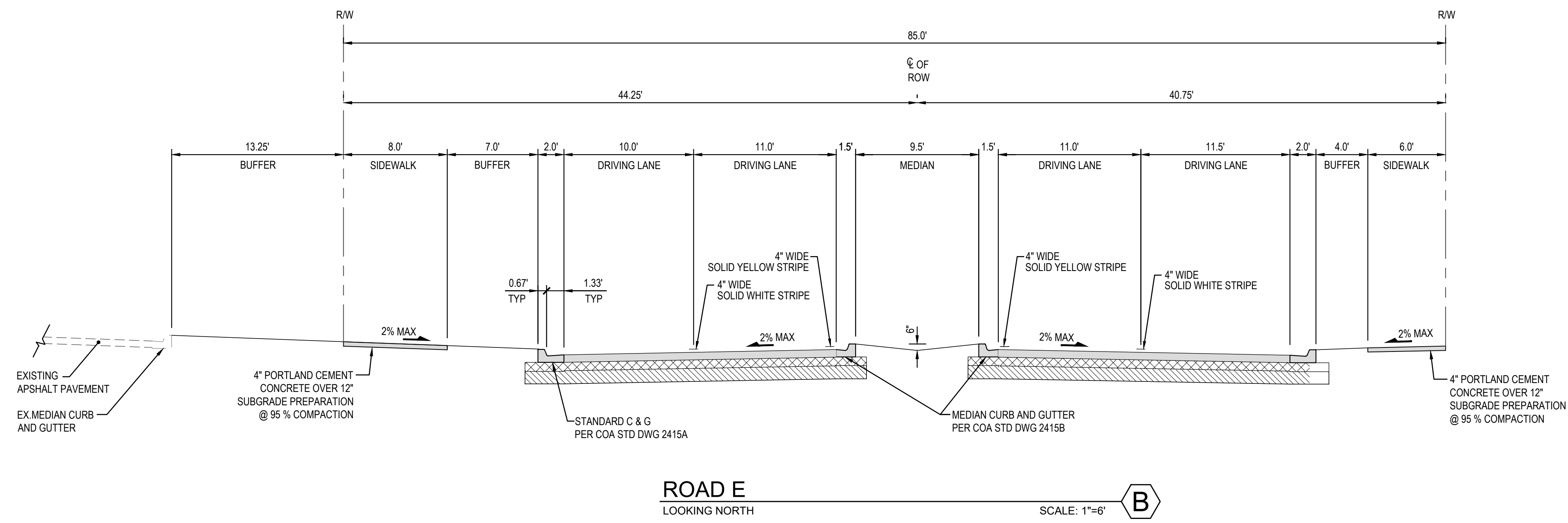
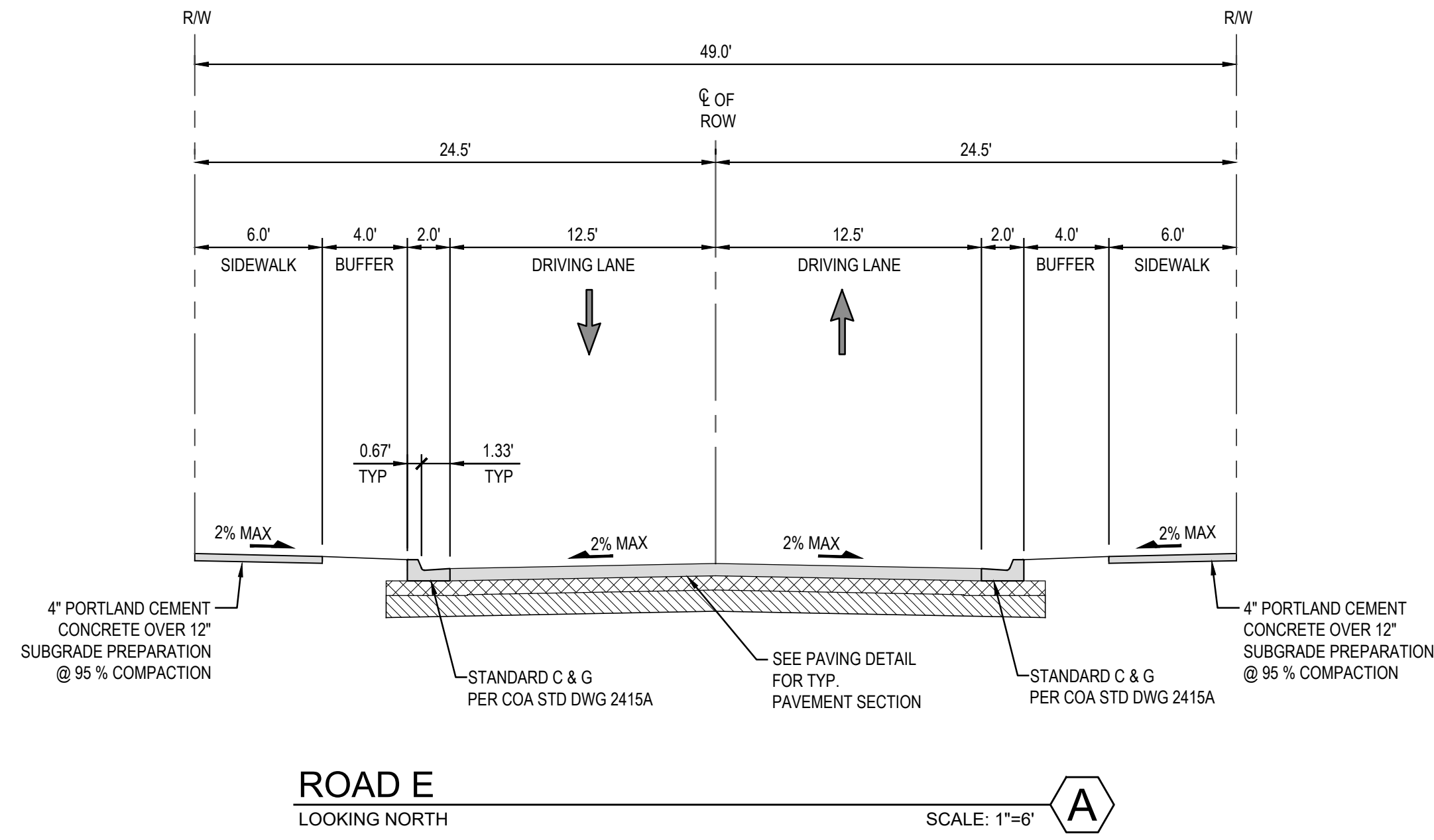
MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 PROJECT MANAGER: [blank]
 JOB NO.: [blank]
 DRAWN BY: [blank]

SHEET TITLE: ENLARGED PAVING PLAN

DATE: 07/29/21	SHEET: C401
SCALE: AS NOTED	

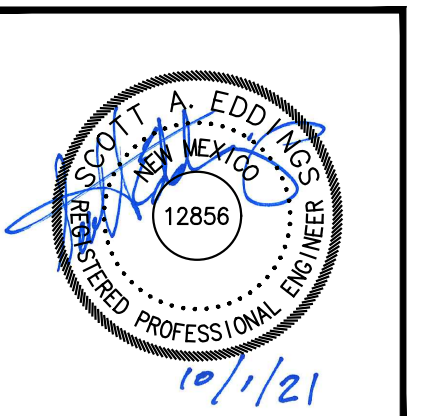


GENERAL NOTES

1. SITE WORK SHALL BE IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD DRAWINGS AND SPECIFICATION.
2. CURB AND GUTTER IS 6-INCH.
3. CONCRETE PAVEMENT WITHIN LOADING DOCK AS SHOWN IS BASE BID. DEDUCTIVE ALTERNATE TO REPLACE WITH HEAVY DUTY ASPHALT.

REV.	DATE	BY	REVISION

MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. 	DRAWN BY
PROJECT MANAGER 	SHEET TITLE TYPICAL SECTIONS	

DATE 07/29/21	SHEET C402
SCALE AS NOTED	

INFRASTRUCTURE LIST

Date Preliminary Plat Approved: **NA**

EXHIBIT "B"

Date Preliminary Plat Expires: **NA**

DRB Project No.:

DRB Application No.:

**Winrock Town Center Park
PROPOSED NAME OF SITE DEVELOPMENT PLAN**

**Winrock Center Addition Parcel Z-1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.


SIA Sequence #	COA BLDG PERMIT #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			*****ROADWAY*****						
		Varies	Asphalt Pavement: (On Street Parking, (2) 14' Drive Lane); Standard Curb and Gutter; 6' Sidewalk East Side Only)	Road E	Road B	Parcel C-2A	/	/	/
			Retaining Wall and Barrier	Road E	Northwest Park Edge	100-Foot North	/	/	/
			Roadway Lighting & Sound, CIP	Road E	Road B	Parcel C-2A	/	/	/
			Street Furniture	Road E	Road B	Parcel C-2A	/	/	/
			*****WATER*****						
		8"	Waterline w/Appertunances	Road E	Road B	Parcel C-2A	/	/	/
			*****SANITARY*****						
		8"	Sanitary Sewer Line and Manholes	Road E	Road B	APPOX. 200' NORTH	/	/	/
			*****REUSE WATER*****						
		8"	Reuse Waterline w/Appertunances	East Side of Park	Road B (East of Park)	North Side of Park	/	/	/
		8"	Reuse Waterline w/Appertunances	Road E	North Side of Park	Parcel C-2A	/	/	/
		8"	Reuse Waterline w/Appertunances	ABCWUA Easmentment	Parcel C-2A	Pennsylvania Avenue	/	/	/
			*****STORM*****						
		30"	Storm Drain, Inlets and Manhole	Road E	North Side of Park	Parcel C-2A	/	/	/

SIA	COA BLDG	Size	Type of Improvement	Location	From	To	Private	City	City Cnst
Sequence #	PERMIT #						Inspector	Inspector	Engineer
			*****Park*****						
			Lake, Complete	Park			/	/	/
			Landscape and Irrigation	Park			/	/	/
			Gazebo	Park			/	/	/
			Furnishigs	Park			/	/	/
			Trolley Station	Park			/	/	/
			Hardscape	Park			/	/	/

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Scott Eddings
 NAME (print)
 Huitt-Zollars, Inc.
 FIRM

 10/1/2021
 SIGNATURE - date
 MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: 1-YEAR

DRB CHAIR - date
 TRANSPORTATION DEVELOPMENT - date
 UTILITY DEVELOPMENT - date
 CITY ENGINEER - date

PARKS & GENERAL RECREATION - date
 AMAFCA - date
 CODE ENFORCEMENT - date
 _____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

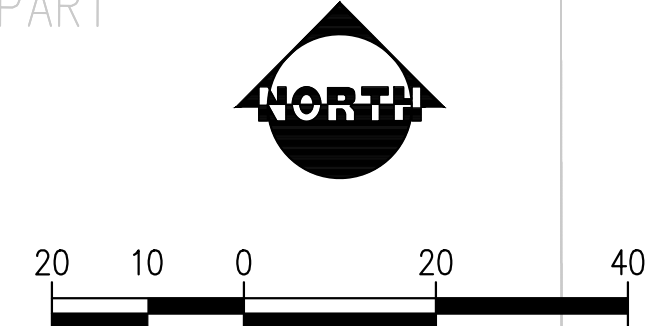
Sep. 30, 2021

\\sdc\2021-26-02-OVERALL MASTER -177.dwg; B662-10_Waterfall_Media.dwg; WTC2_Site_Site.dwg; B662-10.dwg
Dimension = 1; LScale = 1; PScale = 1; ACAD Ver. = 23.0; (LMS Tech); elevation = 1



LEGEND

	ERODED CONCRETE SHORELINE LIMIT
	CANTILEVER DECK SHORELINE LIMIT
	RETAINING WALL SHORELINE LIMIT
	BOULDER POCKET
	INITIAL POND LIMIT



PRELIMINARY NOT FOR CONSTRUCTION
 PRELIMINARY DESIGN DRAWING
 THIS DRAWING IS FOR DESIGN USE ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION.

 PACE Advanced Water Engineering 17520 Newhops Street, Suite 200 Fountain Valley, CA 92708 P: (714) 481-7300 www.pacewater.com	JOB NO. B662
	SHEET 01 OF XX SHEETS
WINROCK TOWN CENTER POND CONCEPT ALBUQUERQUE NM	TITLE POND PLAN
PREPARED BY ZIRANG SONG PROJECT ENGINEER R.C.E. NO. # XXXX EXP. 1/17/22	NO. BY DATE REVISIONS DATE APP.
DRAWN RC/NM DESIGNED NM CHECKED ZS	DATE 01/07/2021



LEGEND

- RECIRCULATION DISCHARGE
- WATERWALL DISCHARGE
- CASCADING WATERFALL DISCHARGE
- - - - - POND INTAKE
- - - - - SKIMMER INTAKE

NO	BY	DATE	REVISIONS	DATE	APP.

PREPARED BY ZIRANG SONG	PROJECT ENGINEER	SCALE AS SHOWN	DATE 01/07/2021
R.C.E. NO. — # XXXX	DRAWN RC/NM	DESIGNED NM	CHECKED ZS
EXP. 1/24/22			

PIPING PLAN

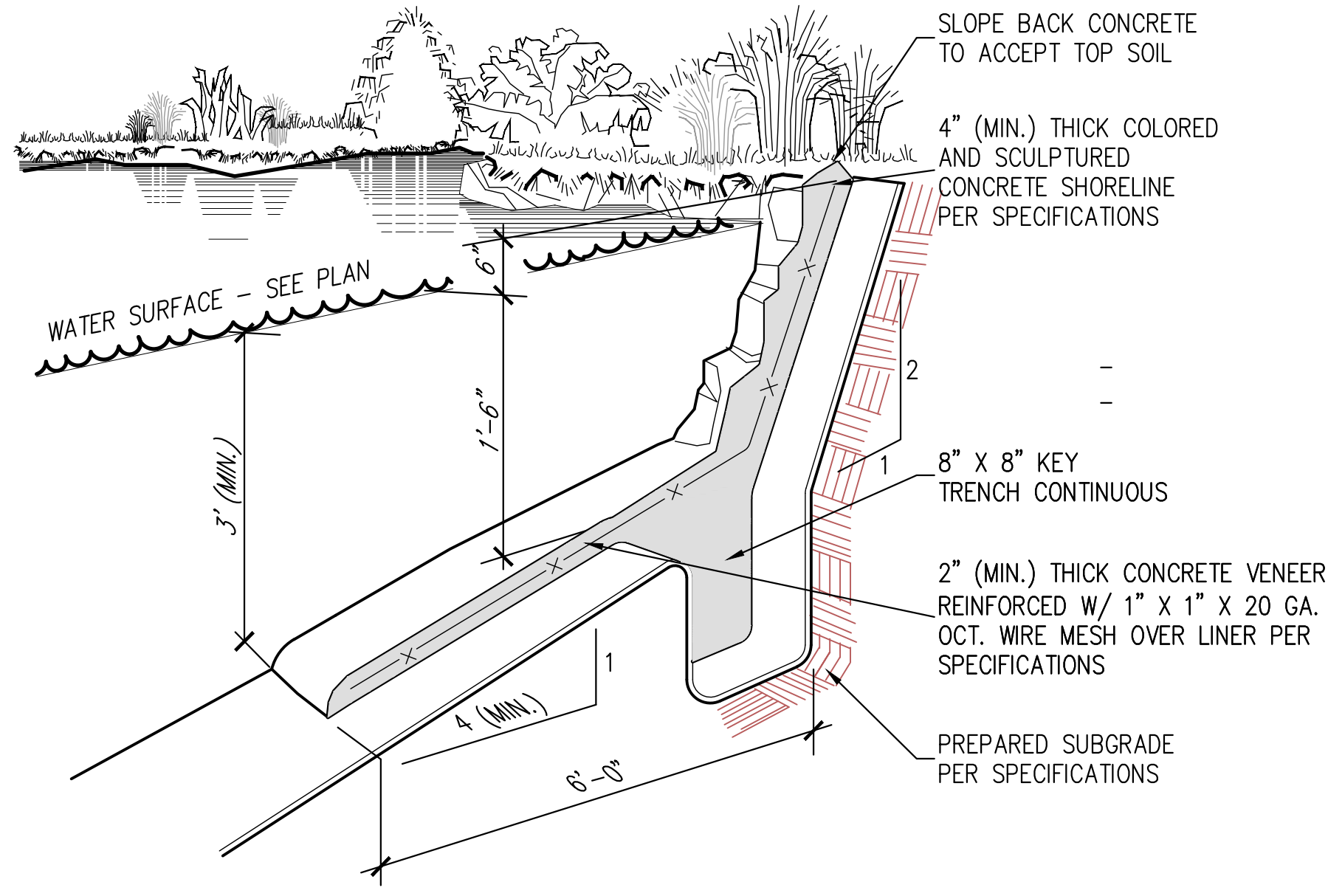
**WINROCK TOWN CENTER
POND CONCEPT**

ALBUQUERQUE NM

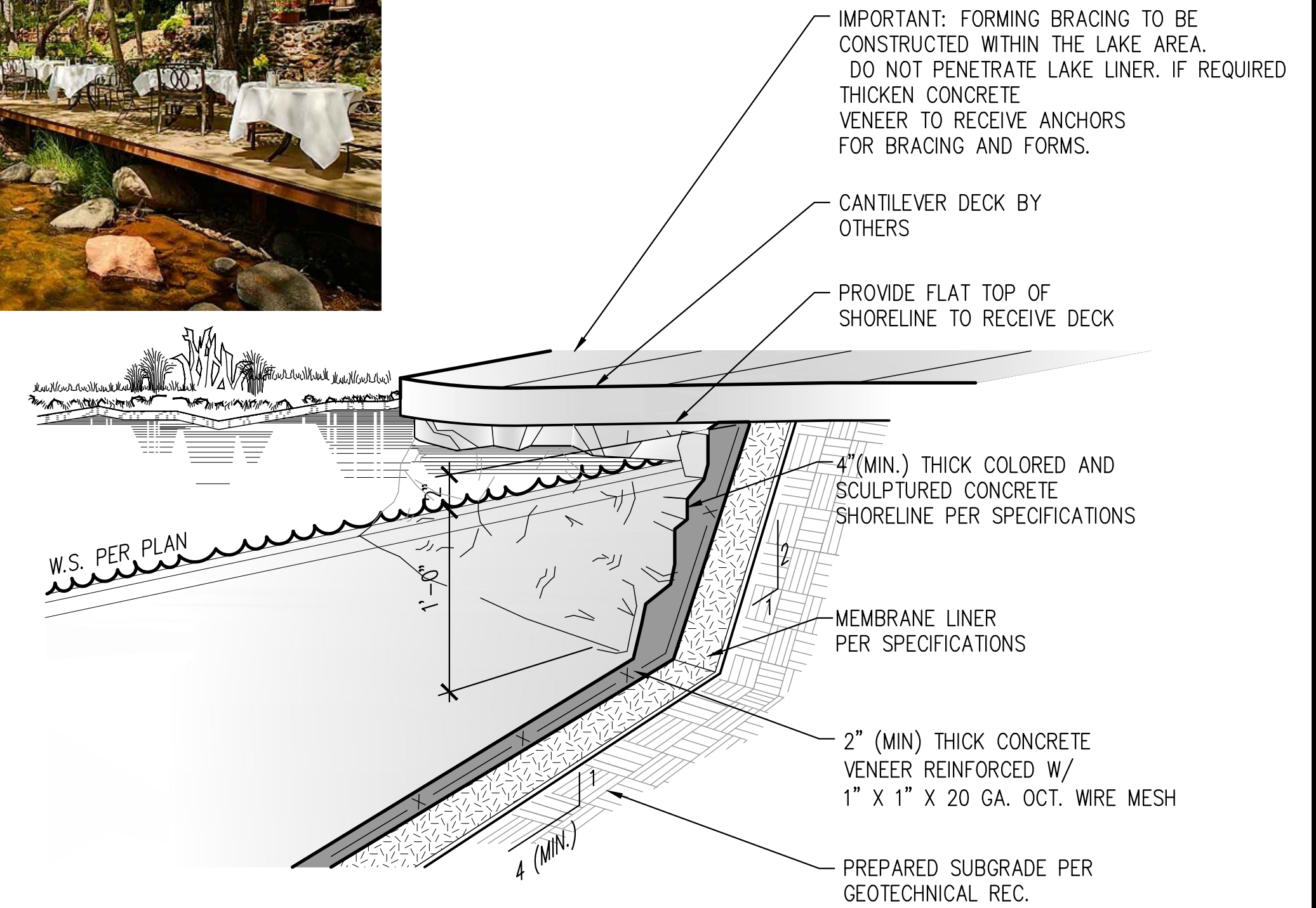
17520 Newhops Street, Suite 200 | Fountain Valley, CA 92708
 P: (714) 481-7300 | www.pacewater.com

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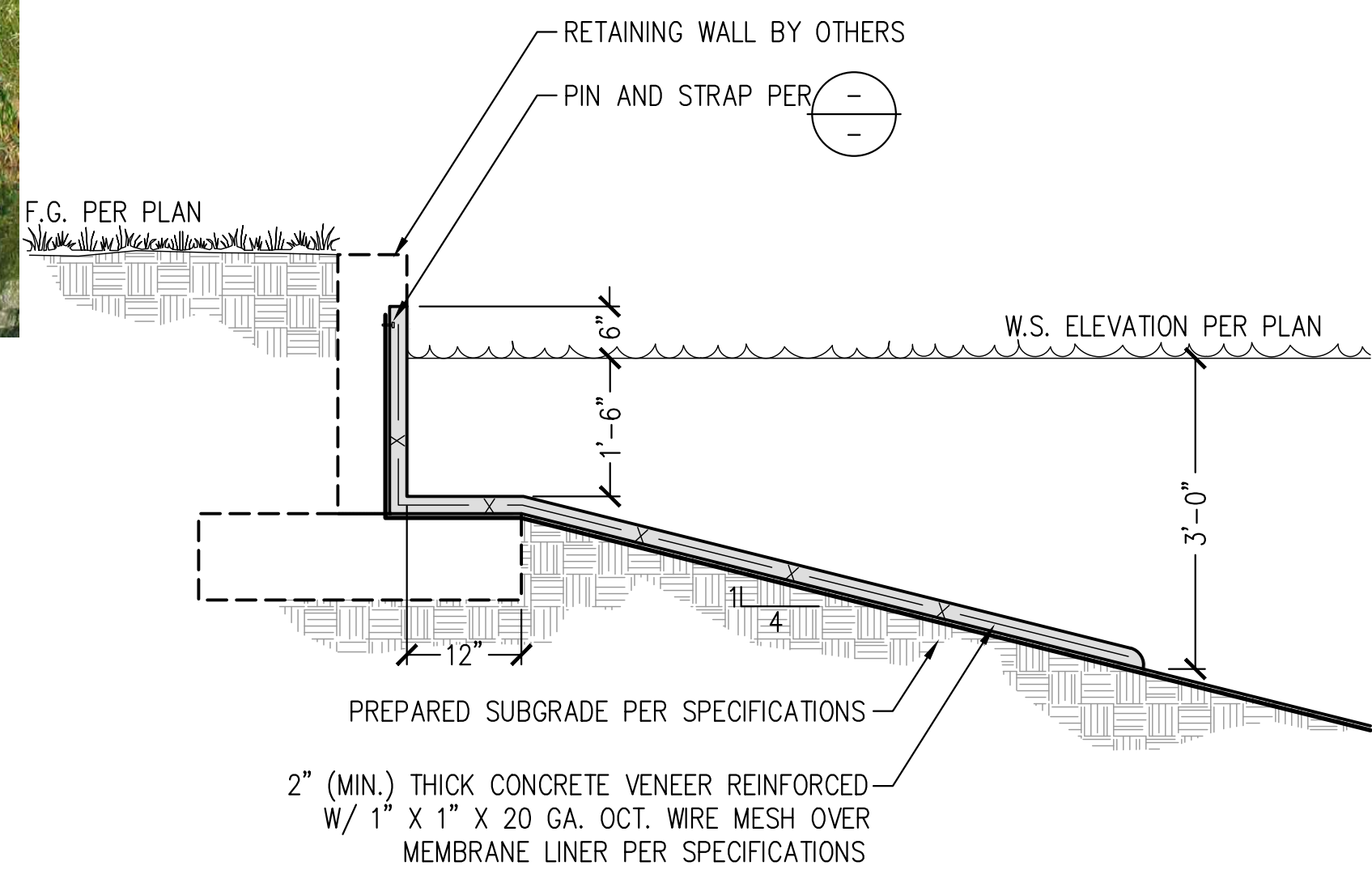
SHEET
02
 OF XX SHEETS



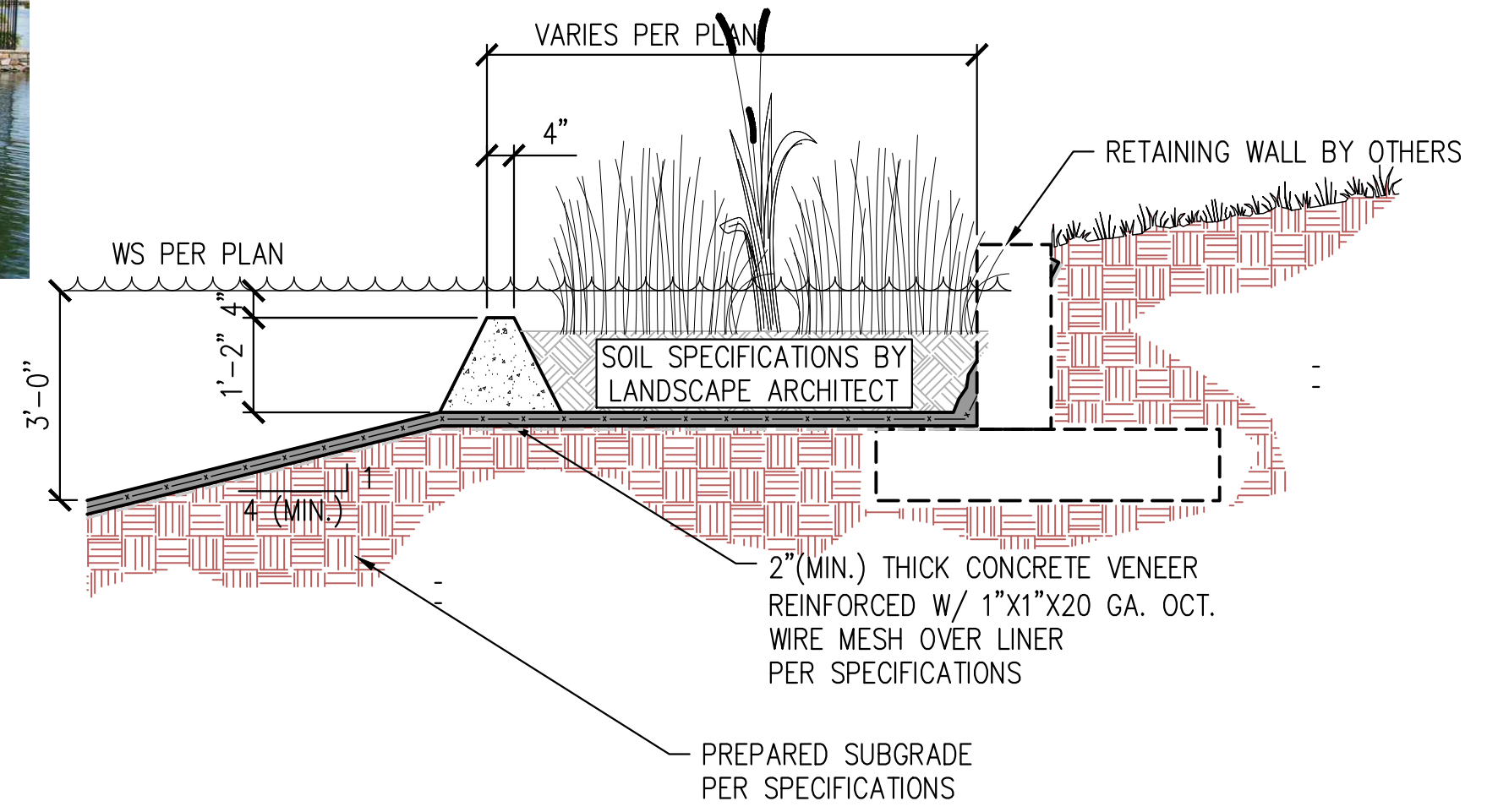
ERODED CONCRETE SHORELINE



CANTILEVER DECK SHORELINE



RETAINING WALL SHORELINE



RETAINING WALL WITH PLANTER SHORELINE

PRELIMINARY NOT FOR CONSTRUCTION
 PRELIMINARY DESIGN DRAWING
 THIS DRAWING IS FOR DESIGN USE ONLY AND NOT INTENDED TO BE USED FOR CONSTRUCTION.

NO.	BY	DATE	REVISIONS	DATE	APP.
1					
2					
3					
4					
5					

PREPARED BY ZIRANG SONG	PROJECT ENGINEER R.G.E. NO. -- # XXXX	SCALE RC/1M AS SHOWN	DATE 01/07/2021
EXP. 1/24/21	DRAWN RC/1M	DESIGNED NM	CHECKED ZS

TITLE
LAKE SHORELINES

JOB
**WINROCK TOWN CENTER
 POND CONCEPT**
 ALBUQUERQUE NM

PACE
 Advanced Water Engineering
 17520 Newhops Street, Suite 200 | Fountain Valley, CA 92708
 P: (714) 481-7300 | www.pacewater.com

SHEET
03
 OF XX SHEETS
 JOB NO. B662

Xrefs: D:\scale = 1; L:\scale = 1; P:\scale = 1; ACAD Ver. = 23.06 (LMS Tech); Version = 1



WATERFALL



STEPPING STONE



WATERFALL



STEPPING STONE

NO.	BY	DATE	REVISIONS	DATE	APP.



PREPARED BY ZIRANG SONG	PROJECT ENGINEER	SCALE AS SHOWN	DATE 01/07/2021
R.C.E. NO. --- # XXXX	DESIGNED NM	CHECKED ZS	
EXP. 1/24/22			

TITLE
**WATERFALL AND
WATER WALL
OPTIONS**

JOB
**WINROCK TOWN CENTER
POND CONCEPT**
ALBUQUERQUE NM

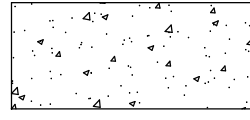
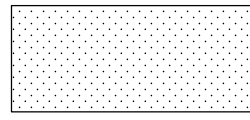
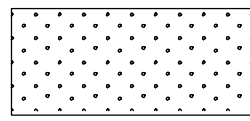
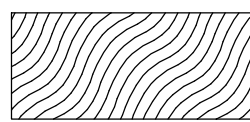
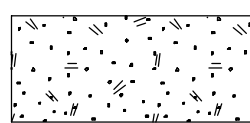

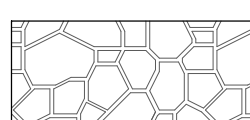


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17520 Newhops Street, Suite 200 | Fountain Valley, CA 92708
P: (714) 481-7300 | www.pacewater.com

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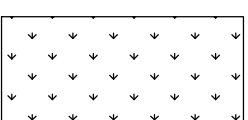
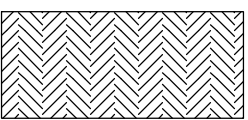
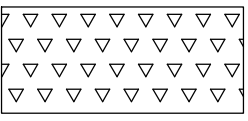
SHEET
04
OF XX SHEETS
JOB NO. B662

LANDSCAPE SCHEDULES WINROCK PARK

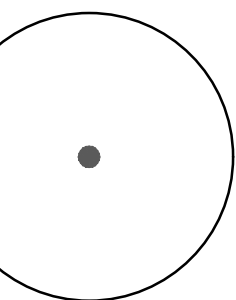
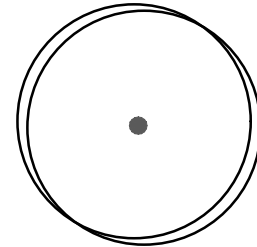
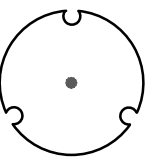
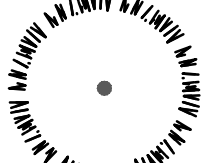
HARDSCAPE SCHEDULE - PARK

	QTY.
 4" EXPOSED AGGREGATE CONCRETE COLOR: GRAY W/ 3/8" ANGULAR CRUSHED ROCK. COLOR: BEIGE	14,120 SF
 3/8" CRUSHED FINES, COMPACTED 4" DEPTH. COLOR: ROSE BROWN	9,775 SF
 7/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: AMARETTO, BROWN OR BROWNISH-RED)	16,010 SF.
 PLAYGROUND SURFACE POURED-IN PLACE 4" DEPTH. COLOR: BLUE / GREEN	360 SF
 NATURE PLAYGROUND SURFACE ENGINEERED WOOD FIBER, MIN. 12" DEPTH	2,660 SF
 BARK MULCH	840 SF
 FLAGSTONE, 4" DEPTH WITH BASE. COLOR: LIGHT, WARM COLOR OR APPROVED EQUAL	1,245 SF.
 TROLLEY STAMPED CONCRETE PATH, 6" DEPTH COLOR: BRICK RED, MATCH EXISTING MEDIANS SEE CIVIL PLANS	4,690 SF.
 6' BENCHES	35

PLANTING BED SCHEDULE - PARK

	QTY.
 TURF GRASS AREA	14,567 SF.
 EVERGREEN HEDGE ALONG PARK PERIMETER	680 SF.
 AQUATIC PLANTS, SEE PLANT SCHEDULE PER POND PLANS BY OTHERS	1,660 SF

TREE SCHEDULE - PARK

	QTY.
PLANTS PER PLANT LIST, SEE SHEET LP-101.	
<u>TREES</u>	
<u>DECIDUOUS</u>	
 BOSQUE TREES, SEE PLANT LIST	15
 OUTER PARK AREA SEE PLANT LIST	41
 ORCHARD AREAS SEE PLANT LIST	11
<u>EVERGREEN</u>	
 EVERGREEN TREES SEE PLANT LIST	14

GENERAL LANDSCAPE NOTES APPLY TO WINROCK PARK & ROAD E

THE LANDSCAPE PLAN IS DESIGNED TO COMPLY WITH THE GENERAL IDO LANDSCAPING REGULATIONS (SECTION 14-16-5-6) INCLUDING PROVISION OF A MINIMUM OF 75% LIVE GROUND COVERAGE, MEASURED AT MATURITY, OF ALL REQUIRED LANDSCAPE AREAS, AND A MINIMUM OF 25% REQUIRED VEGETATIVE COVERAGE OF GROUND COVER PLANTS.

ALL PLANTINGS TO BE ESTABLISHED FOR GENERAL LANDSCAPE PURPOSES, UNLESS OTHERWISE NOTED ON THE PLANS.

RESPONSIBILITY FOR LANDSCAPE AND IRRIGATION MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.

LANDSCAPE AREAS SHALL BE DEPRESSED TO PROVIDE POSITIVE DRAINAGE FOR SITE RUN OFF.
SEE CIVIL DRAWINGS FOR DRAINAGE INFORMATION.

THE LANDSCAPE PLAN SHALL BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS.

PLANT MATERIALS AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, SHRUBS BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ACCEPTABLE IN CLEAR SIGHT AREAS.

USE OF NON POTABLE WATER: THE WINROCK TOWN CENTER PARK AND STREETSCAPES WILL BE USING REUSE WATER (RECLAIM WATER) FOR THE LAKE AND THE LANDSCAPES AT THE PROJECT SITE.* WARNING SIGNAGE WILL BE PLACED THROUGHOUT THE PROJECT AREA. THE SIGNAGE WILL STATE:
"WINROCK CARES ABOUT ENVIRONMENTS.
WE ARE USING RECLAIMED WATER FOR WATER FEATURES AND LANDSCAPES.
DON'T DRINK THE WATER."

PLANTING NOTES

THE LANDSCAPE PLANS SHALL COMPLY WITH THE CITY OF ALBUQUERQUE WASTE WATER CONSERVATION, LANDSCAPE, IDO, AND WATER WASTE ORDINANCE.

ALL PLANTING BEDS SHALL BE MULCHED WITH A 4" LAYER OF 3/8" CRUSHER FINES GRAVEL.
COLOR TO BE DETERMINED BY ARCHITECT. ALL GRAVEL SHALL BE UNDERLINED WITH DEWITT PRO-5 28 MIL. FILTER FABRIC OR APPROVED EQUAL.

THE R.O.W. (WHEN DEDICATED TO THE PUBLIC) SHALL BE MAINTAINED BY THE OWNER. THE PLAN SHALL FOLLOW THE COA DESIGN GUIDELINES FOR STREET TREES UNLESS OBSTRUCTED BY UTILITY EASEMENTS.

USE OF FRUIT TREES: GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.

IRRIGATION NOTES

THE IRRIGATION PLAN BE DESIGNED TO MEET ALL CITY OF ALBUQUERQUE, AND IDO REQUIREMENTS, SECTION 5-6(C)(14).

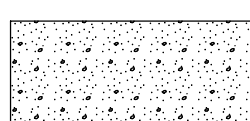
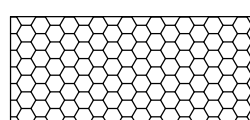
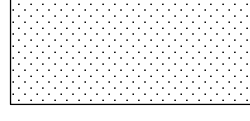
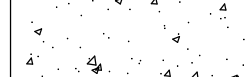
THE WORK DESCRIBED AS "IRRIGATION" CONSISTS OF INSTALLING A COMPLETE UNDERGROUND IRRIGATION SYSTEM AS SPECIFIED IN THESE NOTES IN ADDITION TO MEETING ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS. ALL DESIGN, EQUIPMENT, INSTALLATION, AND TESTING SHALL COMPLY WITH THE STANDARDS OUTLINED IN THE CITY OF ALBUQUERQUE'S STANDARD SPECIFICATIONS, SECTION 1001.

PRIOR TO COMMENCING WORK CONTRACTOR SHALL PROVIDE A 20-SCALE PLAN TO THE LANDSCAPE ARCHITECT OR THE OWNER'S REPRESENTATIVE SHOWING COMPLETE SYSTEM LAYOUT, SCHEDULE OF VALVES, VALVE SIZES, MAINLINE AND LATERAL PIPE SIZES, SLEEVE LOCATIONS AND SIZES, AND COMPLETE LEGEND WITH A LIST OF COMPONENTS.

THE CONTRACTOR PERFORMING THIS WORK SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERMITS NECESSARY FOR THE COMPLETION OF THE SYSTEM, EXCEPT THOSE SPECIFIED TO BE FURNISHED BY OTHERS. UNLESS OTHERWISE SPECIFIED OR INDICATED, THE CONSTRUCTION OF THE IRRIGATION SHALL INCLUDE THE FURNISHING, INSTALLING, AND TESTING OF ALL PIPE, FITTINGS, VALVES, HEADS, CONTROLLERS, WIRES, AIR RELEASE AND VACUUM VALVES, BACKFLOW PREVENTERS, AUTOMATIC DRAIN VALVES, MANUAL DRAIN VALVES, VALVE BOXES, AND ALL OTHER COMPONENTS PERTINENT TO THE DRAWINGS AND SPECIFICATIONS OF THIS SYSTEM. THE CONTRACTOR SHALL PERFORM ALL TRENCHING, EXCAVATING, BORING, BACKFILLING, COMPACTING, CONCRETE POURING, ELECTRICAL WORK, WELDING, AND ANY OTHER WORK NECESSARY FOR THE COMPLETION OF THE PROJECT.

LANDSCAPE SCHEDULES ROAD E

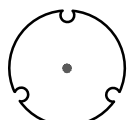
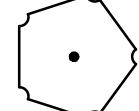
HARDSCAPE SCHEDULE - ROAD E

	QTY.
 7/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)	11,515 SF.
 2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH	485 SF.
 4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.	7,285 SF.
 4" DEPTH CONCRETE. COLOR: WARM COLOR (TAN, BROWN OR BROWNISH-RED)	345 SF









EVERGREEN

	QTY.
 PINON PINE/ <i>Pinus edulis</i>	19

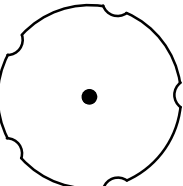



FRUIT TREE SCHEDULE - ROAD E

	QTY.
PLANTS PER PLANT LIST, SEE SHEET LP-104.	
 PLUM/ <i>Prunus spp.</i>	14
 PEAR/ <i>Pyrus spp.</i>	18

SHRUB SCHEDULE - ROAD E


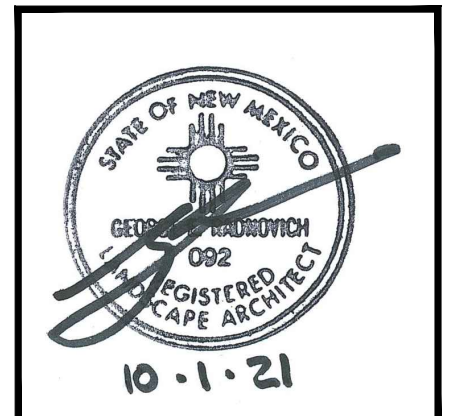
	QTY.
PLANTS PER PLANT LIST, SEE SHEET LP-10X.	
 ROSEMARY / <i>Rosmarinus officinalis</i>	110
 EVERGREEN SUMAC / <i>Rhus virens</i>	12
 TURPENTINE BUSH / <i>Ericameria laricifolia</i>	30
 COMPACT OREGON GRAPE / <i>Mahonia aquifolium 'Compacta'</i>	61
 BANANA YUCCA / <i>Yucca baccata</i>	25
 GARLIC CHIVES / <i>Allium schoenoprasum</i>	243
 INDIAN RICE GRASS / <i>Oryzopsis hymenoides</i>	20
 BLUE GRAMA GRASS / <i>Bouteloua gracilis</i>	64

TREE SCHEDULE - ROAD E

	QTY.
PLANTS PER PLANT LIST, SEE SHEET LP-104.	
<u>DECIDUOUS</u>	
 CHINESE PISTACHE / <i>Pistachie chinensis</i>	4
 DESERT WILLOW/ <i>Chilopsis linearis</i>	7
 NEW MEXICO OLIVE <i>Forestiera neomexicana</i>	4
 CHASTE TREE <i>Vitex agnus-castus</i>	3

REV	DATE	BY	REVISION
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2			
3			
4			
5			

MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	JOB NO. 2021041	DRAWN BY: GR/NO
PROJECT MANAGER		SHEET TITLE LANDSCAPE SCHEDULES AND NOTES WINROCK TOWN CENTER PARK & ROAD E

DATE 07/30/2021	Sheet LC-100
SCALE 1" = 20'-0"	of.



SITES
SOUTHWEST

1700 CENTRAL AVE. SKI
SUITE B
ALBUQUERQUE, NM 87104
PHONE: (505) 822-8200
MAIL: MAIL@SITES-SW.COM



----- PROJECT "WINROCK PARK" BOUNDARY

HARDSCAPE SCHEDULE - PARK

- 4" EXPOSED AGGREGATE CONCRETE
COLOR: GRAY W/ 3/8" ANGULAR CRUSHED ROCK.
COLOR: BEIGE
- 3/8" CRUSHED FINES, COMPACTED
4" DEPTH. COLOR: ROSE BROWN
- 7/8" ANGULAR LANDSCAPE GRAVEL MULCH.
4" DEPTH WITH FILTER FABRIC UNDERNEATH.
COLOR: AMARETTO, BROWN OR
BROWNISH-RED)
- PLAYGROUND SURFACE
POURED-IN PLACE
4" DEPTH. COLOR: BLUE / GREEN
- NATURE PLAYGROUND SURFACE
ENGINEERED WOOD FIBER, MIN. 12" DEPTH
- BARK MULCH
- FLAGSTONE, 4" DEPTH WITH BASE.
COLOR: LIGHT, WARM COLOR OR
APPROVED EQUAL
- TROLLEY STAMPED CONCRETE PATH, 6" DEPTH
COLOR: BRICK RED, MATCH EXISTING MEDIANS
SEE CIVIL PLANS
- 6' BENCHES

PLANTING BED SCHEDULE - PARK

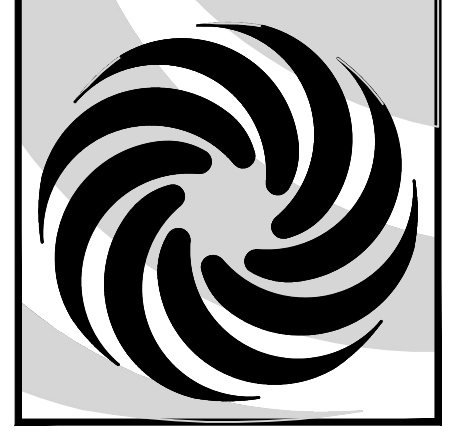
- TURF GRASS AREA
- EVERGREEN HEDGE ALONG
PARK PERIMETER
- AQUATIC PLANTS.
SEE PLANT SCHEDULE
PER POND PLANS BY OTHERS
- 7/8" ANGULAR LANDSCAPE GRAVEL MULCH.
4" DEPTH WITH FILTER FABRIC UNDERNEATH.
COLOR: WARM COLOR (BROWN OR BROWNISH-RED)

NOTES:

1. THE ROCK WALK BEING USED AS A LAND BRIDGE THROUGH THE LAKE FEATURE. THE ROCK WALK WILL BE MADE OF CONCRETE (FAUX ROCK) WITH A NON-SLIP FINISH TO MITIGATE BEING A SLIPPING HAZARD.
2. THE PLAYGROUND AREA OF WINROCK TOWN CENTER PARK WILL BE ENCLOSED WITH A 4' FENCE AND GATE FOR THE SAFETY OF THE CHILDREN.
3. WARNING SIGNAGE FOR NON-POTABLE WATER WILL BE PLACED THROUGHOUT THE PROJECT AREA.

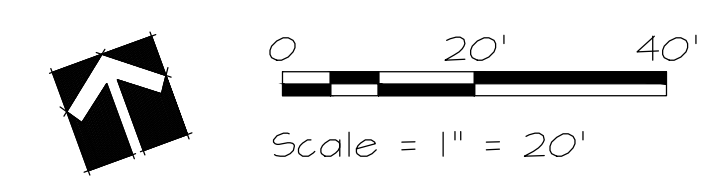
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MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2000 LOUISIANA BLVD. ALBUQUERQUE, NT 87110	DATE 07/30/2021
PROJECT MANAGER GR	JOB NO. 2021041
DRAWN BY GRNO	SHEET TITLE LANDSCAPE SITE PLAN

DATE 07/30/2021	SHEET LC-101
SCALE 1" = 20'-0"	OF



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PLANTING TYPOLOGY SCHEDULE

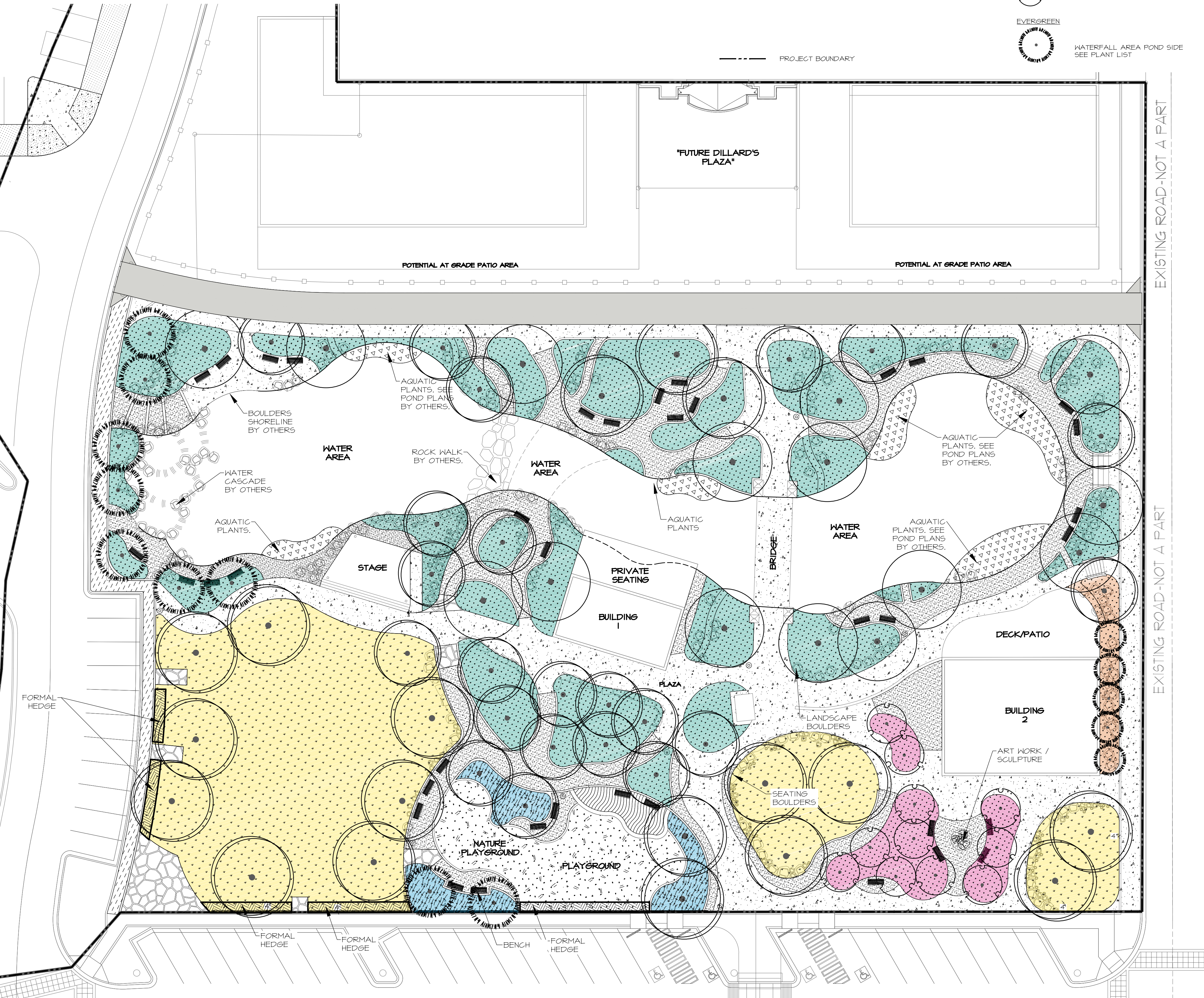
	TURF GRASS AREA
	BOSQUE (POND SIDE)
	OUTER PARK AREA
	ORCHARD AREAS
	NATURE PLAY AND PLAYGROUNDS

PLANTING BED SCHEDULE

	TURF GRASS AREA
	EVERGREEN HEDGE ALONG PARK PERIMETER
	AQUATIC PLANTS. SEE PLANT SCHEDULE PER POND PLANS BY OTHERS
	7/8" ANGULAR LANDSCAPE GRAVEL MULCH. 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (BROWN OR BROWNISH-RED)

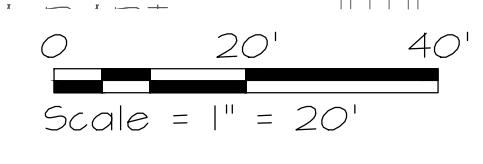
TREE SCHEDULE

	TREES DECIDUOUS
	BOSQUE TREES, SEE PLANT LIST
	OUTER PARK AREA SEE PLANT LIST
	ORCHARD AREAS SEE PLANT LIST
	EVERGREEN
	WATERFALL AREA POND SIDE SEE PLANT LIST



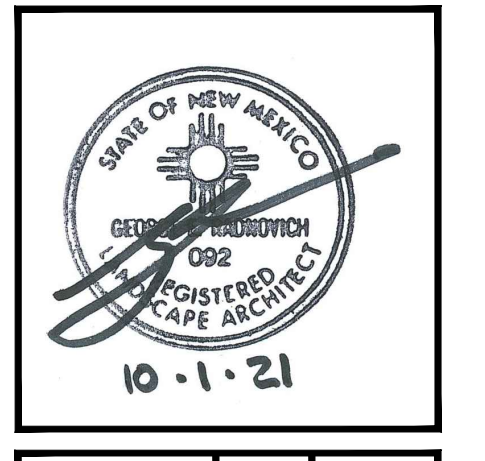
EXISTING ROAD - NOT A PART

LANDSCAPE CATEGORY	COMMON NAME	BOTANICAL NAME	NATIVE (n) EXOTIC (e)	SIZE/NOTES/COMMENTS	
"BOSQUE" (Pondside)					
Trees	Arizona Ash	Fraxinus velutina	n	2.5" cal., B&B/large tree/deciduous	
	Rocky Mountain Juniper	Juniperus scopulorum	n	15 gal./medium tree/coniferous	
	Arizona Sycamore	Platanus wrightii	n	2.5" cal., B&B/large tree/deciduous	
	Rio Grande Cottonwood	Populus fremontii	n	2.5" cal., B&B/large tree/deciduous	
Small Trees	Bigtooth Maple	Acer saccharum v. grandidentatum	n	15 gal./small tree/deciduous	
	Desert Willow	Chilopsis linearis	n	15 gal./small tree/deciduous	
	New Mexico Olive	Forestiera pubescens	n	15 gal./small tree/deciduous	
	Mexican Elder	Sambucus mexicana	n	15 gal./small tree/deciduous	
Shrubs - medium and large	False Indigo Bush	Amorpha fruticosa	n	5 gal./medium shrub/deciduous	
	Red Twig Dogwood	Cornus stolonifera	n	5 gal./medium shrub/deciduous	
	Chokecherry	Prunus virginiana demissa	n	5 gal./medium shrub/deciduous	
	Three Leaf Sumac	Rhus trilobata	n	5 gal./medium shrub/deciduous	
	Golden Currant	Ribes aureum	n	5 gal./medium shrub/deciduous	
	Rosewood	Vauquelinia	n	5 gal./medium shrub/evergreen	
	Equisetum Horsetail	Equisetum laevigatum	n	1 gal./small shrub/evergreen	
	Apache Plume	Fallugia paradoxa	n	5 gal./medium shrub/evergreen	
	Woods Rose	Rosa woodsii	n	5 gal./medium shrub/deciduous	
Small Shrubs and Groundcovers	Yerba de Mansa	Anemopsis californica	n	1 gal./medium shrub/deciduous	
	Lavender	Lavandula angustifolia	e	1 gal./medium shrub/evergreen	
	Western Sand Cherry	Prunus besseyi 'Pawnee Buttes'	n	5 gal./medium shrub/deciduous	
	Rosemary	Rosmarinus officinalis	e	5 gal./medium shrub/evergreen	
	Cota	Thelesperma megapotamicum	n	1 gal./medium shrub/deciduous	
Grasses	Blue Grama 'Blond Ambition'	Bouteloua gracilis 'blonde ambition'	n (hybrid)	1 gal./small grass/deciduous	
	Blue Avena Grass	Helictotrichon sempervirens	e	1 gal./small grass/evergreen	
WATERFALL AREA POND SIDE					
Small Trees	Chisos Red Oak	Quercus gravesii	n	15 gal./small tree/deciduous	
	Pinon Pine	Pinus edulis	n	8-10' ht., B&B/medium tree/evergreen	
Shrubs - medium and large	False Indigo Bush	Amorpha fruticosa	n	5 gal./medium shrub/deciduous	
	Flowering Quince	Chaenomeles japonica	e	5 gal./medium shrub/deciduous	
	Cliff Fendlerbush	Fendleria rupicola	n	5 gal./medium shrub/deciduous	
Small Shrubs and Groundcovers	Pointleaf Manzanita	Arctostaphylos pungens	n	1 gal./medium shrub/evergreen	
	Compact Oregon Grape	Mahonia aquifolium 'Compacta'	n	3 gal./medium shrub/evergreen	
OUTER PARK AREA (incl. amphitheater and lawn, playground, terraces, Dillard's wrap buildings)					
Trees	Arizona Ash	Fraxinus velutina	n	2.5" cal., B&B/large tree/deciduous	
	Chinese Pistache	Pistacia chinensis	e	2.5" cal., B&B/large tree/deciduous	
	Sierra Oak	Quercus canbyi	n	24" box/large tree/evergreen	
	Canyon Hackberry	Celtis reticulata	n	2.5" cal., B&B/large tree/deciduous	
Small Trees	Chisos Red Oak	Quercus gravesii	n	24" box/large tree/evergreen	
	Desert Willow	Chilopsis linearis	n	15 gal./small tree/deciduous	
Shrubs - medium and large	Curleaf Mountain Mahogany	Cercocarpus ledifolius	n	5 gal./medium shrub/evergreen	
	Western Sand Cherry	Prunus besseyi	n	5 gal./medium shrub/deciduous	
	Rosewood	Vauquelinia californica	n	5 gal./medium shrub/evergreen	
	Chamisa	Ericameria nauseosa	n	5 gal./medium shrub/deciduous	
	Maximilian Sunflower	Helianthus maximiliani	n	1 gal./medium shrub/deciduous	
	Red Yucca	Hesperaloe parviflora	n	5 gal./medium shrub/evergreen	
Small Shrubs and Groundcovers	Curry Plant	Helichrysum italicum	e	1 gal./medium shrub/evergreen	
	Lavender	Lavandula angustifolia	e	1 gal./medium shrub/evergreen	
	Rosemary	Rosmarinus officinalis	e	5 gal./medium shrub/evergreen	
	Mexican Blue Sage	Salvia chamaedryoides	n	1 gal./medium shrub/evergreen	
Grasses	Turfgrass (Kentucky Bluegrass, Tall Fescue, and Perennial Ryegrass)	Poa, Festuca, Lolium perenne and all Loliium	e	sod	
	Sheeps Fescue	Festuca ovina except Glauca	n	seeded/10 lbs PLS/ac	
	Western Wheat	Pascopyrum syn. Agropyron smithii	n	seeded/10 lbs PLS/ac	
	Blue Grama 'Blond Ambition'	Bouteloua gracilis 'blonde ambition'	n (hybrid)	1 gal./small grass/deciduous	
	Alkali Sacaton (open areas)	Sporobolus airoides	n	1 gal./small grass/deciduous	
	Giant Sacaton	Sporobolus wrightii	n	1 gal./small grass/deciduous	
	Silver Bluestem	Bothriochloa lagroides	n	1 gal./small grass/deciduous	
Sideoats Grama	Bouteloua curtipendula	n	1 gal./small grass/deciduous		
Perennial	Allium spp	Allium spp	e	4" pot/perennial/deciduous	
	Chocolate Flower	Berlandiera lyrata	n	4" pot/perennial/deciduous	
	Mexican Hat	Ratibida tagetes	n	4" pot/perennial/deciduous	
	Indian Blanket	Gaillardia pulchella	n	4" pot/perennial/deciduous	
ORCHARD AREA					
Trees	Apple	Malus spp.	e	15 gal./small tree/deciduous	
	Pear	Pyrus spp.	e	15 gal./small tree/deciduous	
	Plums, peach, apricot	Prunus spp.	e	15 gal./small tree/deciduous	
	Quince	Cydonia oblonga	e	15 gal./small tree/deciduous	
	Pomegranate	Punica granatum	e	15 gal./small tree/deciduous	
Small Shrubs and Groundcovers	Yarrow spp	Achillea spp	e	4" pot/perennial/deciduous	
	Chives	Allium schoenoprasum	e	4" pot/perennial/deciduous	
	Mint	Mentha spp	e	4" pot/perennial/deciduous	
	Artichoke	Cynara scolymus	e	4" pot/perennial/deciduous	
Bulb	Saffron Crocus	Crocus sativus	e	Herb	
Vines	Canyon Grape	Vitis arizonica	n	5 gal./medium shrub/deciduous	
	Honeysuckle	Lonicera sp.	e	5 gal./medium shrub/evergreen	
NATURE PLAY & PLAYGROUND					
Trees	Oklahoma Redbud	Cercis canadensis, var. texensis	n	15 gal./medium tree/deciduous	
	Desert willow	Chilopsis linearis	n	15 gal./medium tree/deciduous	
	Chinese Pistache	Pistacia chinensis	e	2.5" cal., B&B/large tree/deciduous	
	Limber Pine	Pinus flexilis	n	8-10' ht., B&B/medium tree/evergreen	
	Hollywood Twister Juniper	Juniperus chinensis 'Torulosa'	n	15 gal./medium tree/coniferous	
Shrubs - medium and large	Serviceberry	Amelanchier alnifolia	e	5 gal./medium shrub/deciduous	
	Butterfly bush	Buddleia davidii 'dark lavender'	e	5 gal./medium shrub/deciduous	
	Curleaf Mountain Mahogany	Cercocarpus ledifolius	n	5 gal./medium shrub/evergreen	
	Chamisa	Ericameria nauseosa	n	5 gal./small shrub/deciduous	
	Equisetum Horsetail	Equisetum laevigatum	n	1 gal./medium shrub/evergreen	
	Apache plume	Fallugia paradoxa	n	5 gal./medium shrub/evergreen	
	Heavenly Bamboo	Nandina domestica	e	5 gal./medium shrub/evergreen	
	Cutleaf Sumac	Rhus glabra var. cismontana	n	5 gal./small shrub/deciduous	
	Perennials	Red Valerian	Centranthus ruber	e	1 gal./medium shrub/deciduous
Poppy Mallow		Callirhoe involucrata	n	1 gal./medium shrub/deciduous	
Fennel		Foeniculum vulgare	e	1 gal./medium shrub/deciduous	
Gayfeather		Liatris punctata	n	1 gal./medium shrub/deciduous	
Grasses	Sheeps Fescue	Festuca ovina except Glauca	n	seeded/10 lbs PLS/ac	
Notes					
-plant materials will be selected from the above list, the listing doesn't mean that all plant types will be used.					



REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE	WINROCK TOWN CENTER
PROJECT ADDRESS	2000 LOUISIANA BLVD. ALBUQUERQUE, NM 87104
PROJECT MANAGER	GR
JOB NO.	2021041
DRAWN BY	GRNO
DATE	07/30/2021
SCALE	1" = 20'-0"
SHEET TITLE	LANDSCAPE PLANTING PLAN
SHEET NO.	LP-101



LEGEND LANDSCAPED AREA

- PROJECT BOUNDARY
- PROPOSED AND IRRIGATED LANDSCAPE AREAS 31,534 SQ. FT

LANDSCAPE AREA CALCULATIONS		
ITEM	SQFT	ACRE
Total Site Area	126,444.00	2.90
Gross Covered Area	13,356.00	0.31
Pond Area	21,274.00	0.49
Net Site Area	91,814.00	2.11
Landscape Area Required (10%)	9,181.40	0.21
Landscape Buffer Area Required	0.00	0.00
Total Landscape Area Required	9,181.40	0.21
Existing Landscape	0.00	0.00
Landscape Area Provided	31,534.00	0.72
Landscape Area Existing	0.00	0.00
Supplement seating areas (1/3)	315.00	0.01
Total Landscape Area provided	31,849.00	0.73
Landscaped Area Ratio to Site (Minimum of 10% required)	34.7%	
Total Required Vegetation Cover @ Maturity (75%)	23,650.50	0.54
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)	9,460.20	0.22
Total Required Vegetative Cover	33,110.70	0.76
Total Provided Vegetative Cover	81,592.90	1.87
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)	246.4%	

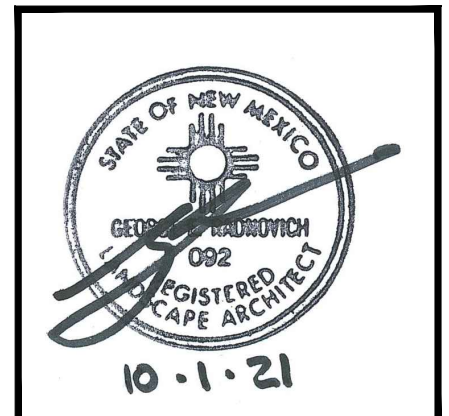
EDGE BUFFERING 5-6(E)(1)(b).
EDGE BUFFERING IS NOT REQUIRED TO BE INSTALLED ALONG ANY PORTION OF THE LOT LINE COVERED BY AN ACCESS EASEMENT, BUT AN EQUIVALENT AMOUNT OF LANDSCAPING SHALL BE INSTALLED.

STREET TREES 5-6(D) STREET FRONTAGE LANDSCAPE DOES NOT APPLY AND IS NOT BE REQUIRED TO BE INSTALLED

TURF GRASS
IN REFERENCE TO SECTION 5-6(C)(4)(D) OF IDO "NO MORE THAN 10 PERCENT OF REQUIRED LANDSCAPED AREAS SHALL BE TURF GRASS SPECIES REQUIRING IRRIGATION FOR SURVIVAL AFTER THE FIRST 2 GROWING SEASONS." TURF GRASS AREAS FOR THE PARK DESIGN ARE LESS THAN 10% OF THE ENTIRE WINROCK DEVELOPMENT AREA.

REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE
WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 ALBUQUERQUE, NM 87110

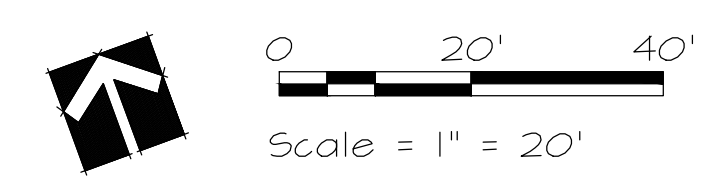
PROJECT MANAGER
GR

JOB NO.
 2021041

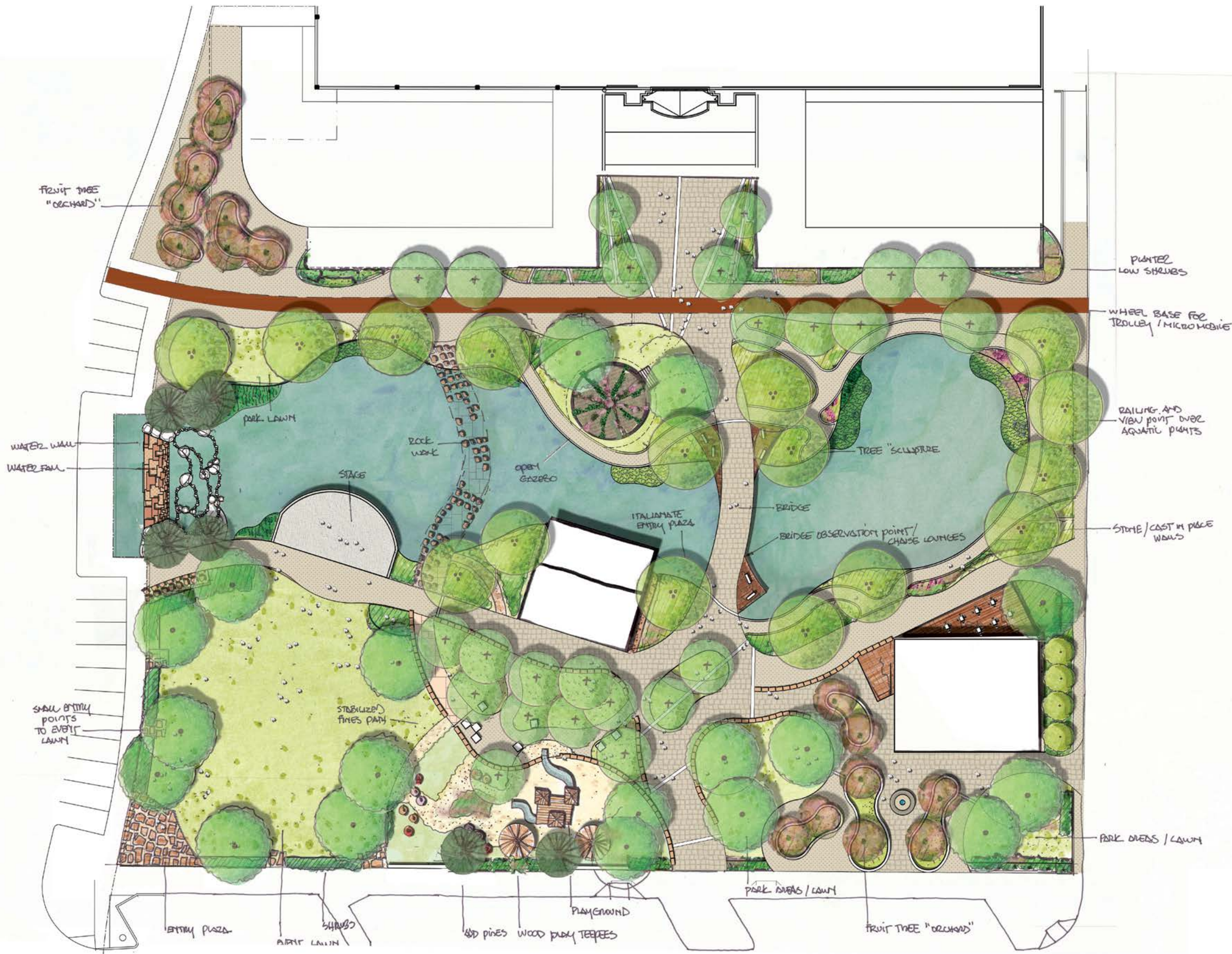
DRAWN BY
 GRNO

SHEET TITLE
LANDSCAPE SITE PLAN CALCULATIONS

DATE 07/30/2021	SHEET LP-102
SCALE 1" = 20'-0"	OF



1100 CENTRAL AVE. SW
 SUITE B
 ALBUQUERQUE, NM 87104
 PHONE: (505) 822-8200
 MAIL: MAIL@SITES-SW.COM



FRUIT TREE "ORCHARD"

WATER WALL
WATER FALL

SHALL ENTRY POINTS TO ENTRY LAWN

ENTRY PLAZA

SHRUBS
ARTIF LAWN

WOOD PINES
WOOD PLAY TEEPEES

PLAYGROUND

PARK DECKS / LAWN

FRUIT TREE "ORCHARD"

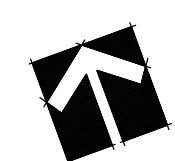
PLANTED LOW SHRUBS

WHEEL BASE FOR TROLLEY / MICROMOBIE

RAILING AND VIEW POINT OVER AQUATIC PLANTS

STONE / CAST IN PLACE WALKS

PARK DECKS / LAWN



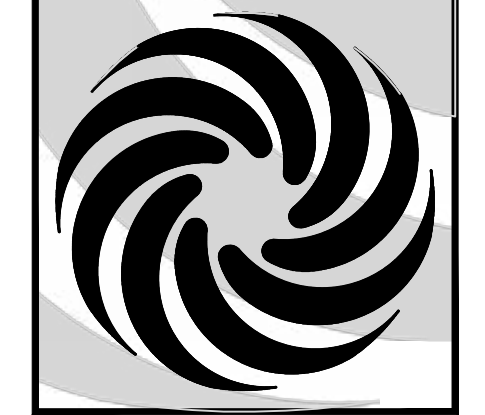
0 20' 40'
Scale = 1" = 20'



1700 CENTRAL AVE. SW,
SUITE B
ALBUQUERQUE, NM 87104
PHONE: (505) 822-8200
MAIL: MAIL@SITES-SW.COM

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MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE
WINROCK TOWN CENTER
2100 LOUISIANA BLVD.
ALBUQUERQUE, NM 87110

PROJECT MANAGER
GR

JOB NO.
2021041

DRAWN BY:
GRNC

SHEET TITLE
CONCEPTUAL LANDSCAPE PLAN

DATE:
07/30/2021

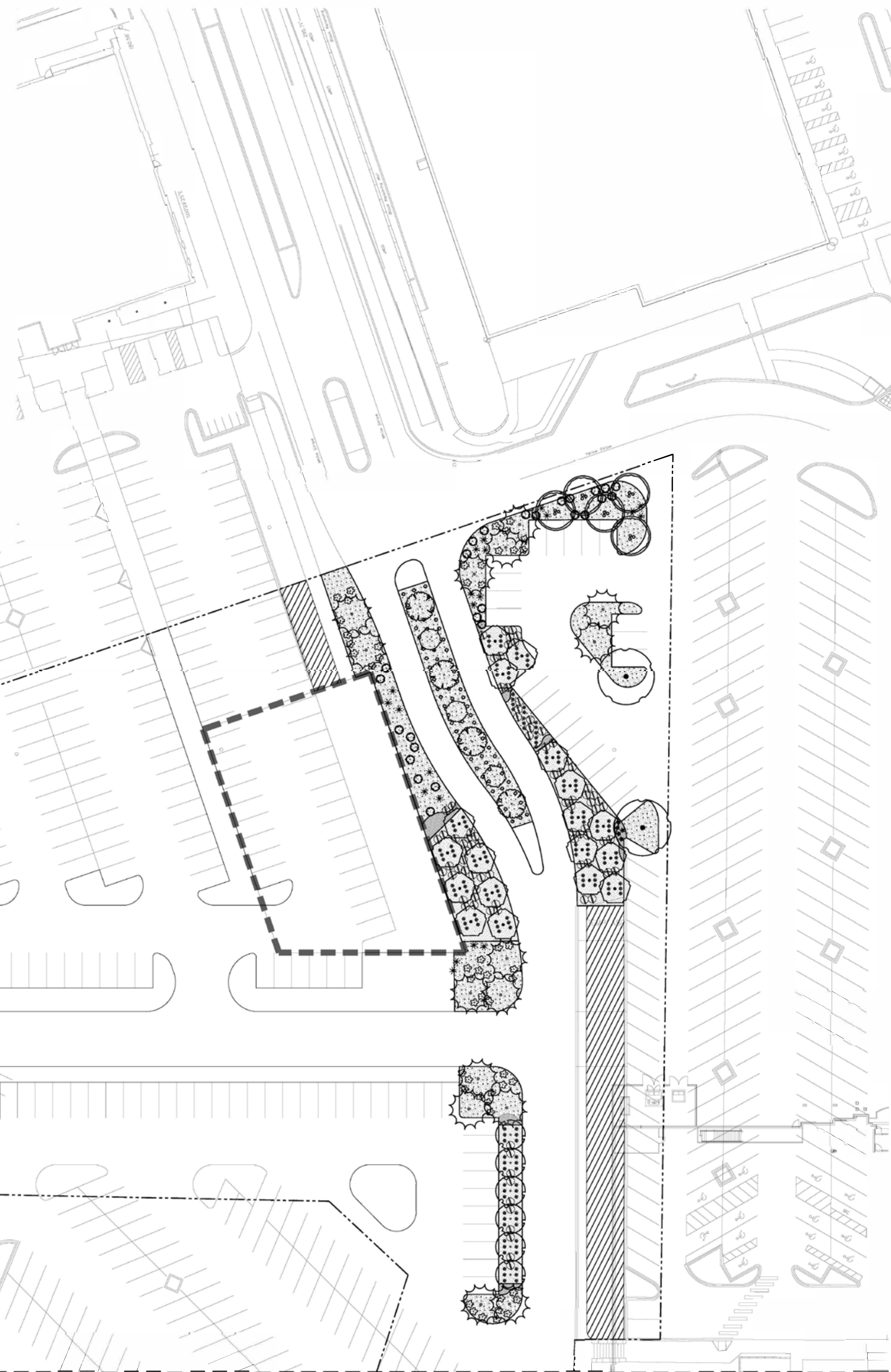
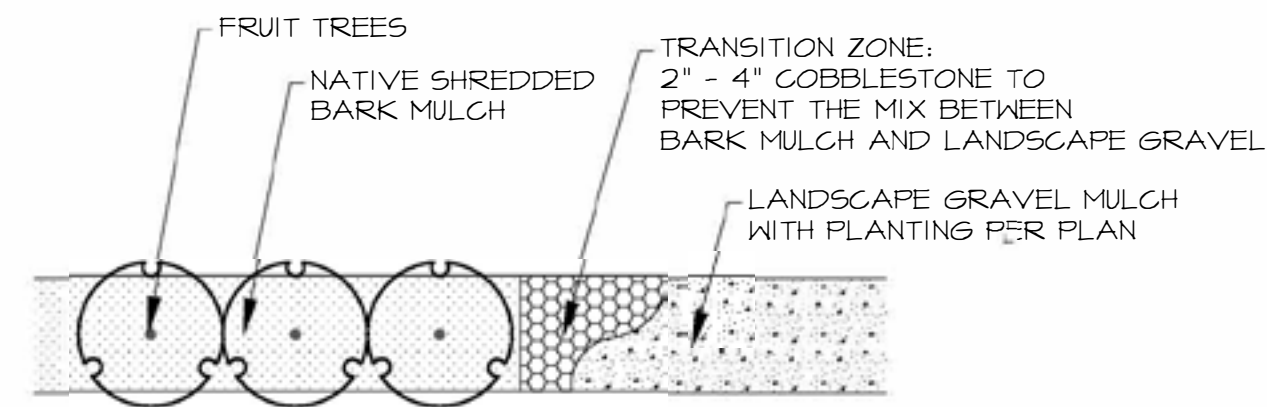
SCALE:
1" = 20'-0"

SHEET:
LP-103

PLANT LIST ROAD E

LANDSCAPE CATEGORY	COMMON NAME	BOTANICAL NAME	NATIVE (n) EXOTIC (e)	SIZE/NOTES/COMMENTS
ROAD E LANDSCAPE				
Trees	Chinese Pistache	<i>Pistacia chinensis</i>	e	2.5' cal., B&B/arge tree/deciduous
	Desert Willow	<i>Chilopsis linearis</i>	n	15 gal./medium tree/deciduous
	Pinon Pine	<i>Pinus edulis</i>	n	10-12' ht., B&B/medium tree/evergreen
	Pear	<i>Pyrus spp.</i>	e	15 gal./small tree/deciduous
	Plums	<i>Prunus spp.</i>	e	15 gal./small tree/deciduous
Shrubs - medium and large	Rosemary	<i>Rosmarinus officinalis</i>	e	5 gal./medium shrub/evergreen
	Rhus virens	Evergreen Sumac	n	5 gal./medium shrub/deciduous
Small Shrubs and Groundcovers	Chives	<i>Allium schoenoprasum</i>	e	4' pot/perennial/deciduous
	Compact Oregon Grape	<i>Mahonia aquifolium 'Compacta'</i>	n	3 gal./medium shrub/evergreen
	Banana Yucca	<i>Yucca baccata</i>	n	3 gal./medium shrub/evergreen
	Turpentine Bush	<i>Ericameria laricifolia</i>	e	5 gal./medium shrub/deciduous
Grasses	Indian Rice Grass	<i>Oryzopsis hymenoides</i>		
	Blue Grama 'Blond Ambition'	<i>Bouteloua gracilis 'blonde ambition'</i>	n (hybrid)	1 gal./small grass/deciduous

GENERAL INSTALLATION BETWEEN FRUIT TREES LANDSCAPE AREAS AND COMMON LANDSCAPE AREAS



PROJECT "ROAD E" BOUNDARY

EXISTING LANDSCAPE AREAS

HARDSCAPE SCHEDULE - ROAD E

- 1/8" ANGULAR LANDSCAPE GRAVEL MULCH. 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)
- 2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH
- 4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.
- 4" DEPTH CONCRETE. COLOR: WARM COLOR (TAN, BROWN OR BROWNISH-RED)

TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST
DECIDUOUS

- CHINESE PISTACHE / *Pistacia chinensis*
- DESERT WILLOW / *Chilopsis linearis*
- NEW MEXICO OLIVE / *Forestiera neomexicana*
- CHASTE TREE / *Vitex agnus-castus*

EVERGREEN

- PINON PINE / *Pinus edulis*

FRUIT TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST

- PLUM / *Prunus spp.*
- PEAR / *Pyrus spp.*

SHRUB SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-10X.

- ROSEMARY / *Rosmarinus officinalis*
- EVERGREEN SUMAC / *Rhus virens*
- TURPENTINE BUSH / *Ericameria laricifolia*
- COMPACT OREGON GRAPE / *Mahonia aquifolium 'Compacta'*
- BANANA YUCCA / *Yucca baccata*
- GARLIC CHIVES / *Allium schoenoprasum*
- INDIAN RICE GRASS / *Oryzopsis hymenoides*
- BLUE GRAMA GRASS / *Bouteloua gracilis*

NOTES:
GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.



SITES
SOUTHWEST
1700 CENTRAL AVE. SW,
SUITE B
ALBUQUERQUE, NM 87104
PHONE: (505) 822-8200
MAIL: MAIL@SITES-SW.COM

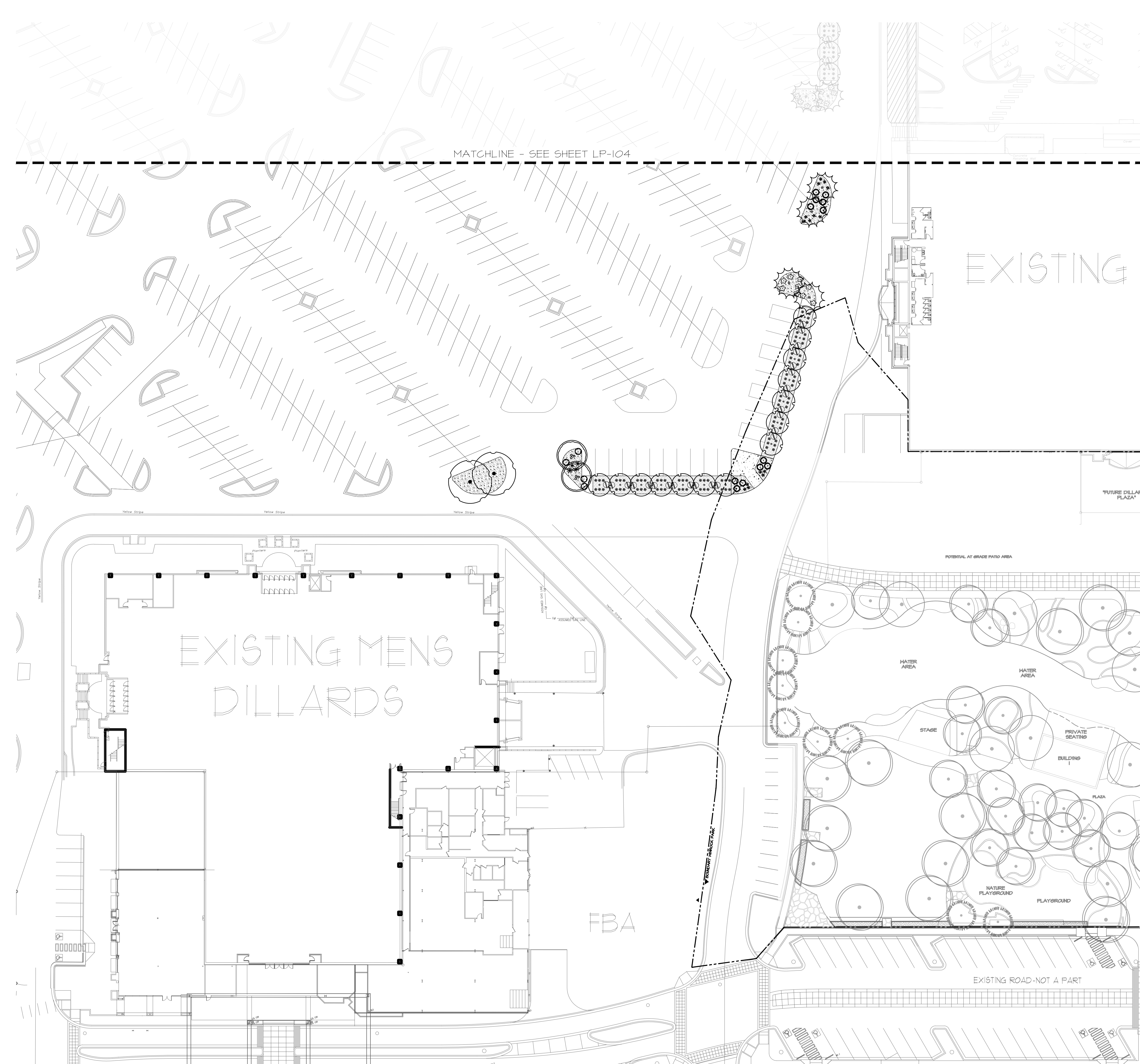
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MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	JOB NO. 2021041	DRAWN BY: GRNO
PROJECT MANAGER GR	SHEET NO. LP-104	SHEET TITLE LANDSCAPE SITE PLAN - ROAD E

DATE: 07/30/2021	sheet
SCALE: 1" = 30'-0"	of



MATCHLINE - SEE SHEET LP-104

EXISTING

EXISTING MENS
DILLARDS

FBA

"FUTURE DILLARD
PLAZA"

POTENTIAL AT GRADE PATIO AREA

EXISTING ROAD-NOT A PART

PROJECT "ROAD E" BOUNDARY

EXISTING LANDSCAPE AREAS

HARDSCAPE SCHEDULE - ROAD E

1/8" ANGULAR LANDSCAPE GRAVEL MULCH, 4" DEPTH WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED)

2" - 4" ANGULAR COBBLESTONE WITH FILTER FABRIC UNDERNEATH. COLOR: WARM COLOR (AMARETTO, BROWN OR BROWNISH-RED) TO MATCH GRAVEL MULCH

4" SHREDDED NATIVE BARK MULCH UNDERNEATH FRUIT TREES.

4" DEPTH CONCRETE. COLOR: WARM COLOR (TAN, BROWN OR BROWNISH-RED)

TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.
DECIDUOUS

CHINESE PISTACHE / *Pistachia chinensis*

DESERT WILLOW / *Chilopsis linearis*

NEW MEXICO OLIVE / *Forestiera neomexicana*

CHASTE TREE / *Vitex agnus-castus*

EVERGREEN

PINON PINE / *Pinus edulis*

FRUIT TREE SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

PLUM / *Prunus spp.*

PEAR / *Pyrus spp.*

SHRUB SCHEDULE - ROAD E

PLANTS PER PLANT LIST, SEE SHEET LP-104.

ROSEMARY / *Rosmarinus officinalis*

EVERGREEN SUMAC / *Rhus virens*

TURPENTINE BUSH / *Ericameria laricifolia*

COMPACT OREGON GRAPE / *Mahonia aquifolium 'Compacta'*

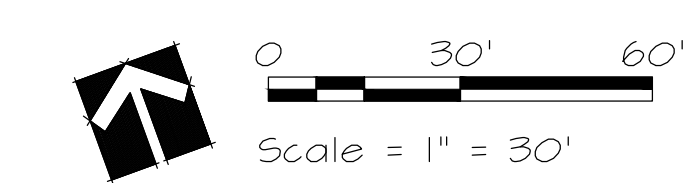
BANANA YUCCA / *Yucca baccata*

GARLIC CHIVES / *Allium schoenoprasum*

INDIAN RICE GRASS / *Oryzopsis hymenoides*

BLUE GRAMA GRASS / *Bouteloua gracilis*

NOTES:
GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION FROM THE CITY OF ALBUQUERQUE STREET TREE ORDINANCE 6-6-2-1 FOR PARKING LOT LANDSCAPING FOR THE USE OF FRUIT TREES ON THE WINROCK TOWN CENTER PROJECT. FRUIT TREES ARE INCLUDED ON THE PLANS.



SITES
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1700 CENTRAL AVE. SW
SUITE B
ALBUQUERQUE, NM 87104
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MAIL: MAIL@SITES-SW.COM

REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
100 SUN AVE. N.W. SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
2100 LOUISIANA BLVD.
ALBUQUERQUE, NM 87110

PROJECT MANAGER: GR

JOB NO.: 2020/041

DRAWN BY: GRNO

SHEET TITLE: LANDSCAPE SITE PLAN - ROAD E

DATE: 07/30/2021

SCALE: 1" = 30'-0"

SHEET: LP-105



LEGEND LANDSCAPED AREA

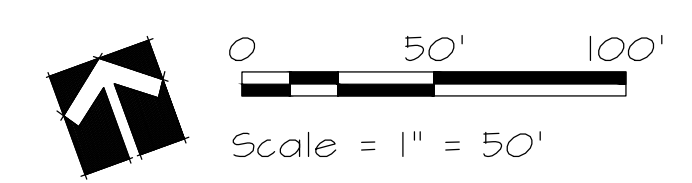
- PROJECT BOUNDARY
- PROPOSED AND IRRIGATED LANDSCAPE AREAS 19,870 SQ. FT
- EXISTING LANDSCAPE AREAS TO REMAIN 5,000 SQ. FT

LANDSCAPE AREA CALCULATIONS - ROAD E		
ITEM	SQFT	ACRE
Total Site Area	235,895.00	5.42
Gross Covered Area	NA	NA
Pond Area	NA	NA
Net Site Area	235,895.00	5.42
Landscape Area Required (10%)	23,589.50	0.54
Landscape Buffer Area Required	0.00	0.00
Total Landscape Area Required	23,589.50	0.54
Existing Landscape	5,000.00	0.11
Landscape Area Provided	19,285.00	0.44
Landscape Area Existing	5,000.00	0.11
Supplement seating areas (1/3)	0.00	0.00
Total Landscape Area provided	24,285.00	0.56
Landscape Area Ratio to Site (Minimum of 10% required)		
	10.3%	
Total Required Vegetation Cover @ Maturity (75%)		
	14,463.75	0.33
Total Required Vegetation Cover with shrubs, groundcover, grasses (30%)		
	5,785.50	0.13
Total Required Vegetative Cover	20,249.25	0.46
Total Provided Vegetative Cover	29,526.21	0.68
Provided Cover Ratio to Proposed Landscape Area (Minimum of 75% required)		
	145.8%	

GOODMAN REALTY GROUP HAS RECEIVED AN APPROVED DEVIATION TO USE FRUIT TREES PER STREET TREE ORDINANCE 6-6-2-1 CITY OF ALBUQUERQUE REQUIREMENTS FOR PARKING LOT LANDSCAPING.

EDGE BUFFERING 5-6(F)(1)(b).
EDGE BUFFERING IS NOT REQUIRED TO BE INSTALLED ALONG ANY PORTION OF THE LOT LINE COVERED BY AN ACCESS EASEMENT, BUT AN EQUIVALENT AMOUNT OF LANDSCAPING SHALL BE INSTALLED.

TURF GRASS
THERE IS NO NEW TURF USED IN THE DESIGN OF THE LANDSCAPE.

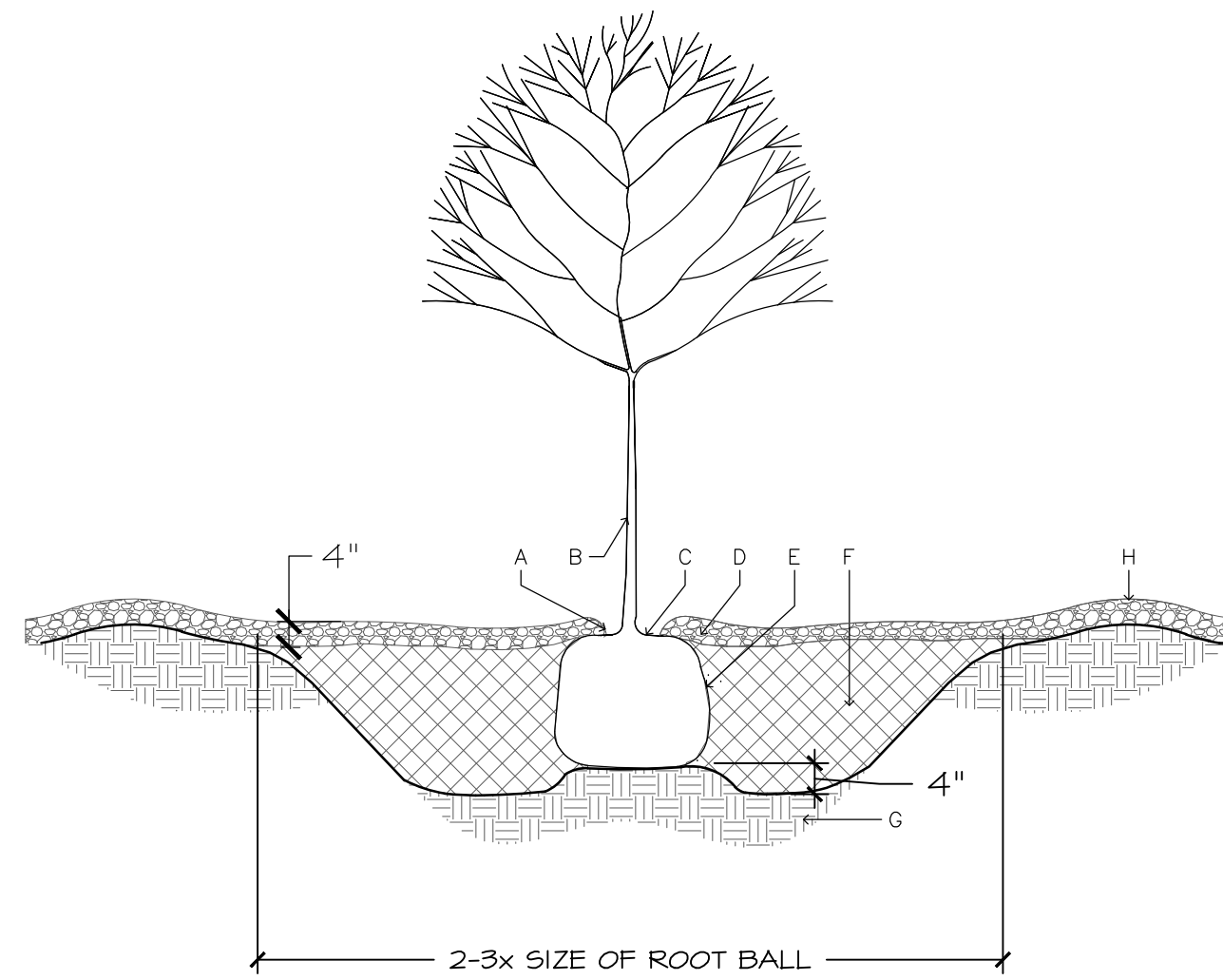


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MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
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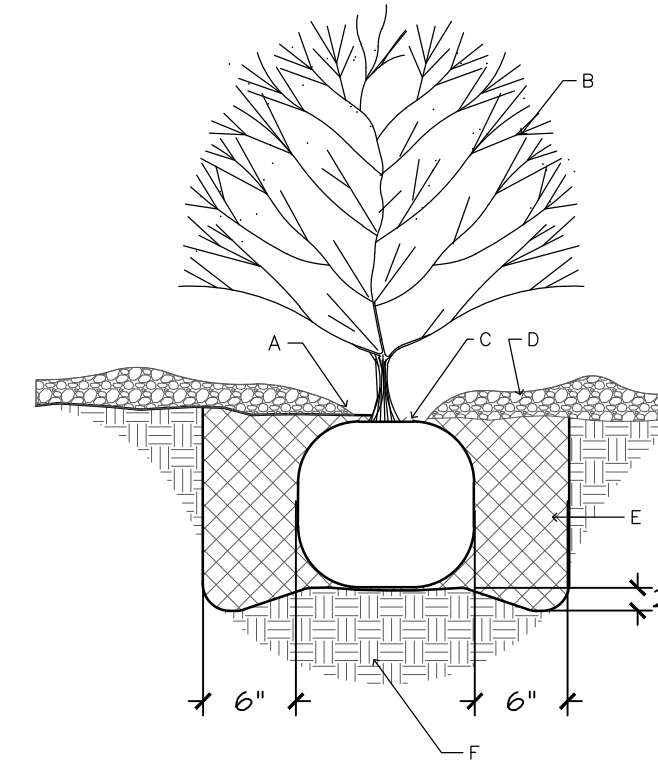
PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD. ALBUQUERQUE, NM 87110	JOB NO. 2021041	DRAWN BY: GRNO
PROJECT MANAGER	DATE 07/30/2021	SHEET LP-106
SHEET TITLE LANDSCAPE ROAD E CALCULATIONS	SCALE: 1" = 50'-0"	of



CONSTRUCTION NOTES:

- A. MULCH SHALL BE HELD BACK 2" FROM TREE TRUNK.
- B. TREE LOCATION AND SPECIES AS PER PLAN. A MINIMUM SETBACK OF 18" FROM THE TRUNK TO THE FACE OF CURB ALONG THE ROADWAY IS REQUIRED FOR ALL STREET TREES.
- C. REMOVE EXISTING SOIL (FROM NURSERY) AS NEEDED TO EXPOSE ROOT FLARE. INSTALL WITH ROOT FLARE 2"-3" ABOVE GRADE.
- D. 4" DEPTH MULCH THROUGHOUT PLANTING BED UNLESS OTHERWISE NOTED ON PLAN.
- E. PLACE TREE IN HOLE TO STRAIGHTEN. REMOVE WIRE BASKET, WOOD BOX, PLASTIC, TWINE, AND/OR ROPE PRIOR TO BACKFILL. REMOVE BURLAP EXCEPT FROM BOTTOM OF ROOT BALL.
- F. BACKFILL WITH 1/4 PART (BY VOLUME) PLANTING SOIL MIXTURE (FROM WESTERN ORGANICS/GRO-WELL OR APPROVED EQUAL) AND 3/4 PART (BY VOLUME) EXISTING CLEAN SOIL. THOROUGHLY MIX BACKFILL PRIOR TO INSTALLATION.
- G. UNDISTURBED NATIVE SOIL.
- H. 4" DEPTH WATER RETENTION BASIN AT EXCAVATION LIMIT.

A ISOLATED TREE PLANTING
NTS



CONSTRUCTION NOTES:

- A. MULCH SHALL BE FEATHERED TO A 2" DEPTH ON TOP OF ROOT BALL AND SHALL BE HELD BACK 2" FROM SHRUB STEM(S).
- B. SHRUB LOCATION AND SPECIES AS PER PLAN.
- C. PLANT WITH TOP OF ROOT BALL FLUSH WITH SUB-GRADE (BOTTOM OF MULCH).
- D. 4" DEPTH MULCH THROUGHOUT SHRUB BED UNLESS OTHERWISE NOTED.
- E. BACKFILL WITH 1/4 PART (BY VOLUME) PLANTING SOIL MIXTURE (PER STANDARD COA SPECIFICATIONS) AND 3/4 PART (BY VOLUME) EXISTING SOIL. THOROUGHLY MIX BACKFILL PRIOR TO INSTALLATION.
- F. UNDISTURBED NATIVE SOIL.

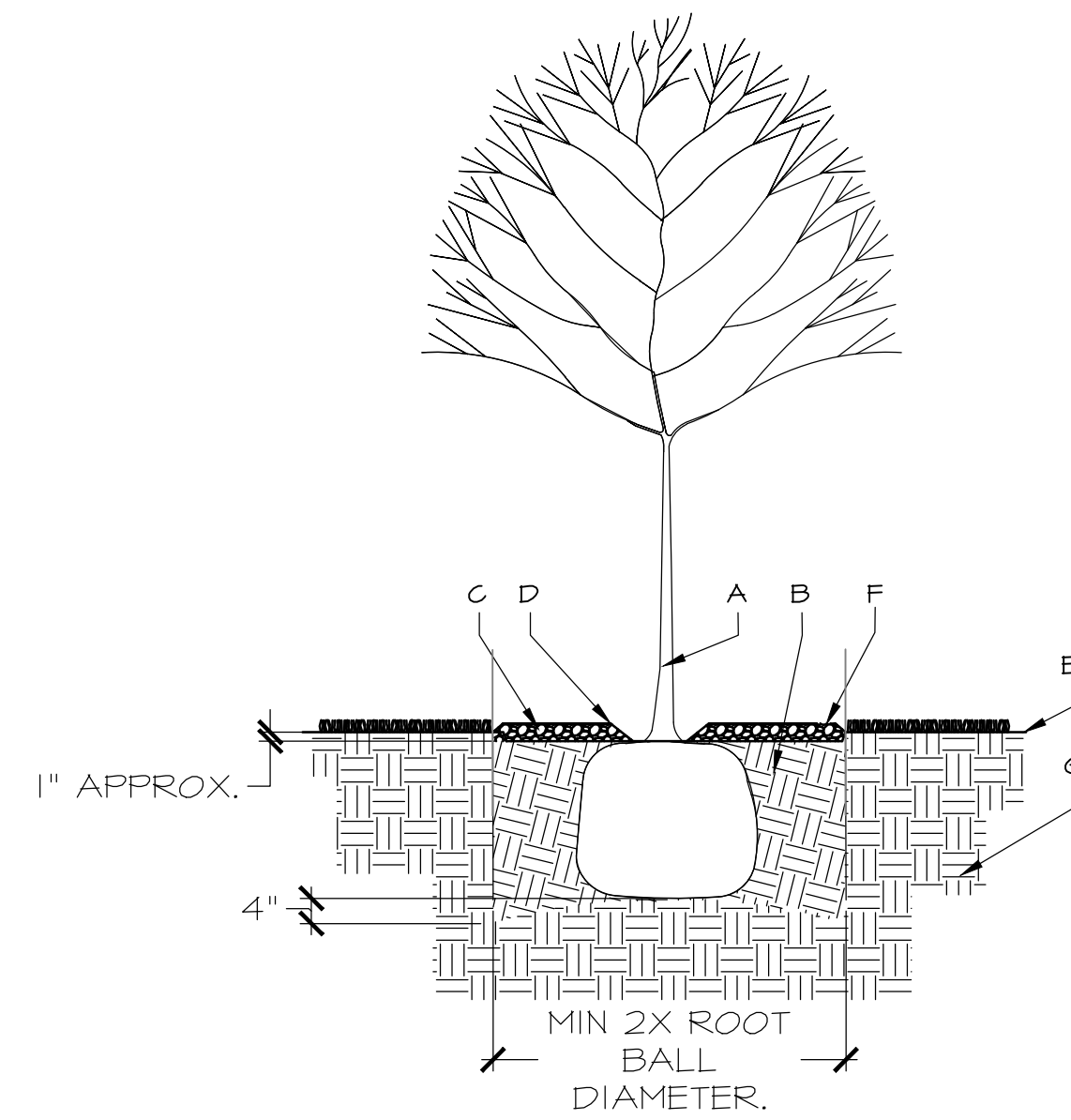
B ISOLATED SHRUB PLANTING
NTS

CONSTRUCTION NOTES:

- A. TREE.
- B. BACKFILL WITH EXISTING SOIL.
- C. 3" DEPTH NATIVE SHREDDED BARK MULCH.
- D. 4" GAP BETWEEN MULCH AND TREE.
- E. EXISTING GRADE.
- F. REMOVE SOD TO CLEAN EDGE; REPLACE AS NECESSARY IF DAMAGED DURING PLANT INSTALLATION.
- G. UNDISTURBED SOIL.

GENERAL NOTES:

1. DO NOT LOOSEN SOIL BELOW ROOT BALL TO PREVENT TREE FROM SETTLING.
2. REMOVE ANY EXCESS SOIL FROM TOP OF ROOTBALL TO EXPOSE ROOT FLARE (WHERE TOP MOST ROOT EMERGES FROM THE TRUNK). PLANT WITH ROOT FLARE SLIGHTLY LOWER THAN ADJACENT EXISTING GRADE TO CREATE WATER BASIN AND ALLOW FOR MULCH PLACEMENT.
3. TAMP SOIL FIRMLY AROUND BASE OF ROOTBALL WITH FOOT PRESSURE.
4. PRIOR TO BACKFILLING, REMOVE ALL EXPOSED BURLAP, ROPE, TWINE, AND WIRE FROM ROOTBALL AND PLANTING HOLE.
5. TREES WITH CO-DOMINANT LEADERS WILL NOT BE ACCEPTED.
6. STAKE TREES ONLY UPON THE APPROVAL OF THE LANDSCAPE ARCHITECT.
7. DO NOT PLACE MULCH IN CONTACT WITH TREE, KEEP AT LEAST 4" AWAY FROM TRUNK.
8. AFTER PLANTING, THOROUGHLY WATER TO ELIMINATE AIR POCKETS AND BACKFILL WITH ADDITIONAL SOIL TO FILL ANY VOIDS.



C TREE PLANTING IN TURF
NOT TO SCALE

REV	DATE	BY	REVISION
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MODULUS ARCHITECTS
 100 SUN AVE. N.W. SUITE 600
 ALBUQUERQUE, NEW MEXICO 87109
 PHONE (505) 338-1499 FAX (505) 338-1498



PROJECT TITLE: WINROCK TOWN CENTER
 2100 LOUISIANA BLVD.
 ALBUQUERQUE, NM 87110

DATE: 07/30/2021

PROJECT MANAGER: GR

DRAWN BY: GR/NO

SHEET TITLE: LANDSCAPE DETAILS

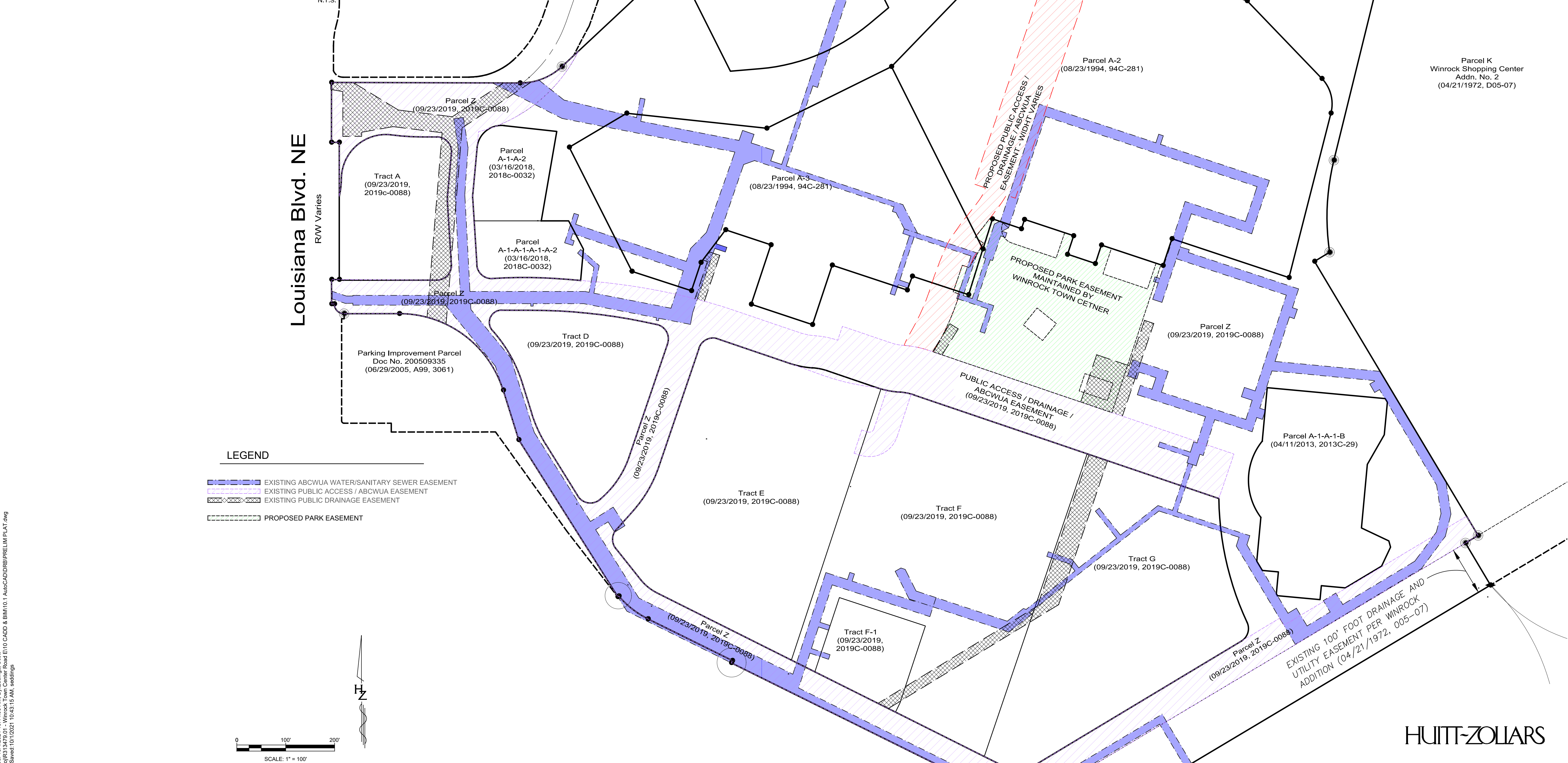
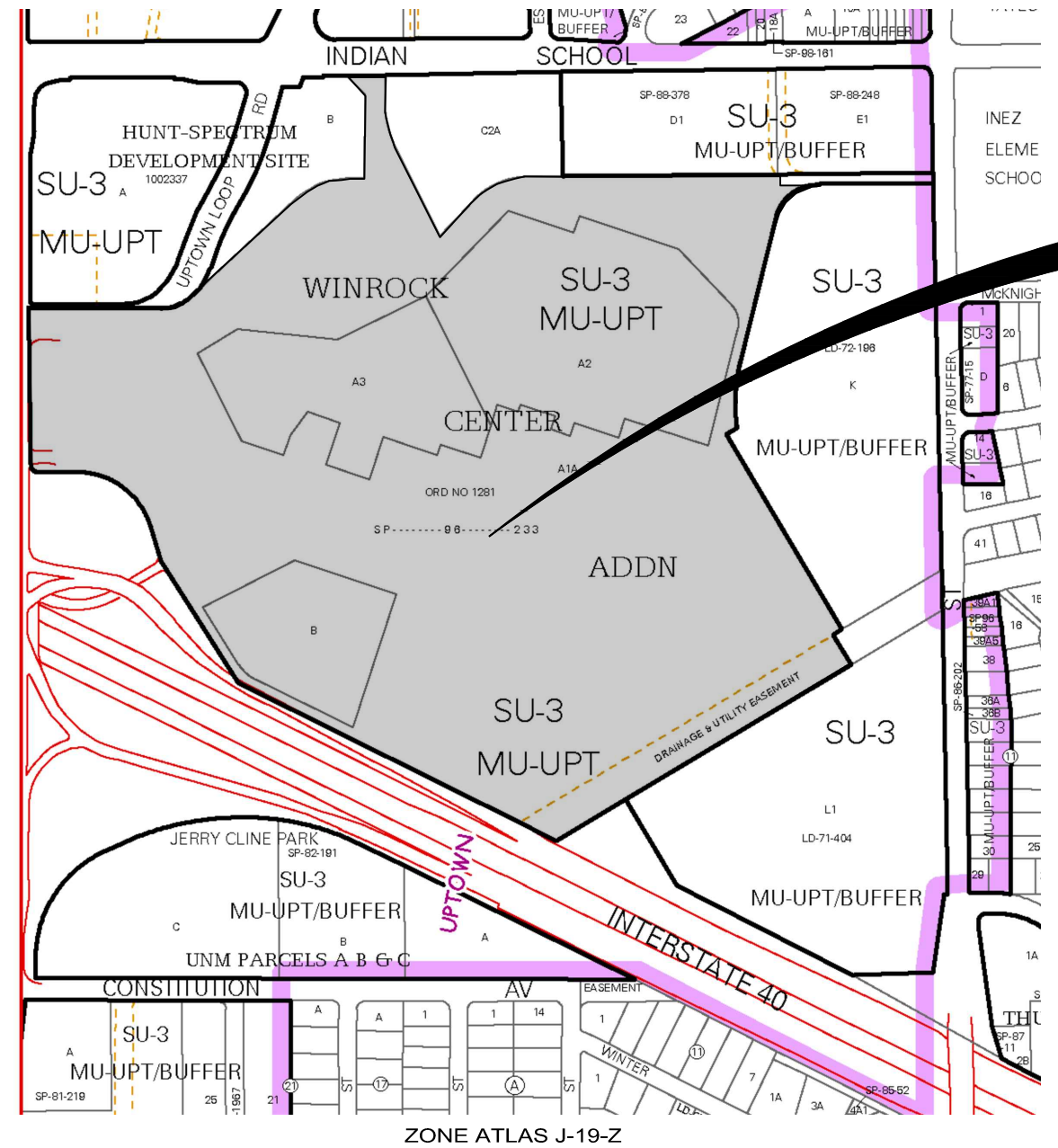


1700 CENTRAL AVE. SW.
 SUITE B
 ALBUQUERQUE, NM 87104
 PHONE: (505) 822-8200
 MAIL: MAIL@SITES-SW.COM

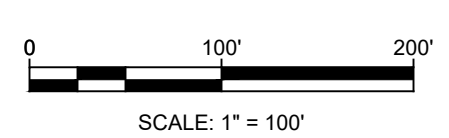
DATE: 07/30/2021	Sheet: LP-501
SCALE: 1" = 20'-0"	of:

SUMMARY PLAT WINROCK CENTER ADDITION

WITHIN SECTION 18 T. 10 N., R. 4 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY 2021
DATE OF SURVEY: FEBRUARY 2021



- LEGEND**
- EXISTING ABCWUA WATER/SANITARY SEWER EASEMENT
 - EXISTING PUBLIC ACCESS / ABCWUA EASEMENT
 - EXISTING PUBLIC DRAINAGE EASEMENT
 - PROPOSED PARK EASEMENT



REV.	DATE	BY	REVISION

MODULUS ARCHITECTS
100 SUN AVE. N.W., SUITE 600
ALBUQUERQUE, NEW MEXICO 87109
PHONE (505) 338-1499 FAX (505) 338-1498

[Signature]
10/1/21

PROJECT TITLE WINROCK TOWN CENTER 2100 LOUISIANA BLVD.	JOB NO. DRAWN BY:
PROJECT MANAGER:	SHEET TITLE PROP. & APPLICABLE EX. EASMENTS

DATE 07/29/21	SHEET S002
SCALE AS NOTED	

HUITT-ZOLIARS

Plotted: 10/1/2021 10:44:06 AM By: Eddings, Scott
 H:\proj\8379\01 - Winrock Town Center Road E110 CADD & BIM\10 - AutoCAD\DRB\PRELIM\PLAT.dwg
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